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## PLANNING COMMISSION MEETING November 5, 2019

FILE NUMBER:	UP #2019-004
PROPERTY OWNER:	Larry R. Williamson
APPLICANT:	Zayo Group, LLC
TYPE OF APPLICATION:	Use Permit

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LASSEN COUNTY PLANNING COMMISSION  
STAFF REPORT  
November 5, 2019

FILE NUMBER:	Use Permit #2019-004
APPLICANT:	Zayo Group, LLC
PROPERTY OWNER	Larry R. Williamson
TYPE OF APPLICATION:	Use Permit
GENERAL LOCATION:	The project site is located approximately 4.5 miles southeast of Ravendale, CA but does not have an assigned address
ASSESSOR'S PARCEL NUMBER:	069-040-26
PROJECT SITE ZONING:	U-C-2 (Upland Conservation/Resource Management District)
GENERAL PLAN:	"Extensive Agriculture" land use designation in the <i>Lassen County General Plan, 2000</i>
ENVIRONMENTAL DOCUMENT:	Exempt from the California Environmental Quality Act (CEQA) under Section 15303 of the 2019 CEQA Guidelines
ASSIGNED STAFF:	Stefano Richichi, Associate Planner

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**AUTHORITY FOR APPLICATION:**

Use Permit Provision, Lassen County Code Section 18.112 et seq. established regulations.  
General Provisions, Uses Allowed by Use Permit, Lassen County Code Section 18.102.020

**REGULATING AGENCIES:**

<u>Agency</u>	<u>Identified Permits/Approvals</u>
Planning Commission	Use Permit
Planning and Building Services	Building Permit/ Authorization to Operate

**PROJECT DESCRIPTION:** The applicant is proposing to construct a 420-square-foot fiber-optic equipment shelter that is accessory to a proposed fiber optic line to be placed within the right-of-way of U.S. Highway 395. The fiber-optic equipment shelter regenerates the signal of said adjacent fiber-optic line and will be serviced by a back-up generator and surrounded by a security chain-link fence.

**PROJECT SITE CHARACTERISTICS:** The project site is located approximately 4.5 miles southeast of Ravendale, CA but does not have an assigned address. The northwestern portion of the subject parcel is within a Zone A flood zone (1-percent-annual chance flood event); however, the project site is not within the 100-year flood zone as described by the Federal Emergency Management Agency (FEMA).

**ACCESS/REQUIREMENTS:** Access to the project site is from U.S. Highway 395, which is not in the County Maintained Road System.

**ZONING:** The subject parcel is zoned U-C-2 (Upland Conservation/Resource Management District). According to Lassen County Code Section 18.102.020(b)(2), nonpublic utility lines for transmission

or distribution of electricity...telephone, television, or other utility may be permitted in all districts; provided that in any case necessitating right-of-way acquisition, a use permit shall be secured in each case prior to such acquisition.”

Although Lassen County does not have permitting authority over the proposed fiber-optic line in the U.S. 395 right-of-way, the proposed fiber-optic equipment shelter is accessory to said fiber-optic line. Furthermore, because said line will be placed in the right-of-way, it “necessitates right-of-way acquisition” for the purposes of the Lassen County Code. Because said fiber-optic line, if Lassen County did have permitting authority over said line, would require a use permit application, and the equipment shelter is allowed only as accessory to said line, the proposed equipment shelter also requires a use permit.

**SURROUNDING PROPERTY CHARACTERISTICS:** Immediately surrounding parcels are zoned U-C-2 ((Upland Conservation/Resource Management District), except for the parcel to the southeast of the subject parcel, which is zoned U-C-A-P (Upland Conservation District, Agricultural Preserve Combining District). Development nearest to the subject parcel includes “a residence to the north. Also of note is that the United States Department of the Interior’s Bureau of Land Management (BLM) manages land south (including the BLM’s Ravendale Fire Station), west, and northeast of the subject parcel. See the zoning for immediately surrounding parcels as illustrated in Table 1 below:

	<b>Zoning*</b> (see notes at bottom)	<b>Parcel Size</b> (acres)	<b>Land Use Designation</b> ( <i>Lassen County General Plan, 2000</i> )
<b>Northeast</b>	A-1	121.61, 309.59	“Extensive Agriculture”
<b>Northwest</b>	A-1	256.37, 90.56	“Extensive Agriculture”
<b>West</b>	A-1	50.11, 453.57	“Extensive Agriculture”
<b>Southeast</b>	U-C-A-P	200	“Extensive Agriculture”

A-1 (General Agricultural District)

U-C-A-P (Upland Conservation District, Agricultural Preserve Combining District)

**GENERAL PLAN:** The subject parcel has an “Extensive Agriculture” land use designation in the *Lassen County General Plan, 2000*. See the related goals, objectives, implementation measures and descriptions from the *Lassen County General Plan, 2000* in the memorandum to the Technical Advisory Committee in this packet for more information.

The Planning Commission will determine whether the proposed project is consistent with the *Lassen County General Plan, 2000* (and the other above plans), unless the proposed project is appealed to the Board of Supervisors, in which case, said body would determine the above.

**LOCAL GOVERNMENTAL SERVICES:**

- Fire protection service is provided by CAL Fire
- Police protection is provided by the Lassen County Sheriff’s Department

**LASSEN COUNTY CODE:** Lassen County Code Section 18.112.035 et seq. grants the Planning Commission the authority to approve, conditionally approve, or deny use permit applications in accordance with the findings set forth at Lassen County Code Section 18.112.100, found below:

**18.112.035 Planning commission review of applications.**

*(b) If a use permit application is to be considered without a related general plan amendment and/or rezone application as described above, the planning commission shall have the authority to approve, conditionally approve or deny the use permit application, subject to the appeal provisions of this chapter. (Ord. 467-AC § 30, 2003; Ord. 467-H § 2, 1991).*

**18.112.100 Mandatory findings.**

*The following findings shall be made by the planning commission or board of supervisors, as applicable, in conjunction with any other findings which may be considered for the approval or denial of a use permit application:*

- (1) That the project will or will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or to the general welfare.*
- (2) That the project is or is not consistent with the Lassen County general plan, or any applicable area plan or resource plan adopted as part of the general plan. (Ord. 467-H § 2, 1991).*

**ENVIRONMENTAL DOCUMENT and PUBLIC COMMENTS:** The Environmental Review Officer (ERO) of Lassen County has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 of the 2019 CEQA Guidelines.

**FINDINGS and/or RECOMMENDATIONS BY TAC:** The Technical Advisory Committee (TAC) met on October 3, 2019 and has developed recommended findings and conditions for consideration by the Planning Commission. The recommended findings and conditions can be found in the attached memos to the TAC. In addition, the recommended conditions can be found in Exhibit “A” of a draft resolution of approval that is included in this packet.

Of particular note is Condition 3, which requires that the applicant demonstrate that the California Department of Transportation (Caltrans) has approved the proposed fiber-optic line in the U.S. Highway 395 right-of-way before issuance of the building permit for the proposed equipment shelter. Caltrans has authority over U.S. Highway 395 and its right-of-way; this condition has been included because the proposed equipment shelter is allowed by use permit only as accessory to said fiber-optic line.



TECHNICAL ADVISORY COMMITTEE  
RECOMMENDED FINDINGS AND CONDITIONS

October 3, 2019

Use Permit File #2019-004, Zayo Group, LLC (Larry R. Williamson)

Use Permits:

- ☒ County Planning Director
- ☒ County Public Works Director (present, provided findings but no conditions)
- ☒ County Surveyor (present, provided findings but no conditions)
- ☐ County Sanitarian (not present, no findings or conditions)
- ☐ County Fire Warden (not present, no findings or conditions)
- ☐ County Assessor (present, no findings or conditions)

RESOLUTION NO. \_\_\_\_\_

RESOLUTION OF THE LASSEN COUNTY PLANNING COMMISSION APPROVING  
USE PERMIT 2019-004, ZAYO GROUP, LLC (LARRY R. WILLIAMSON)

WHEREAS, the Planning Commission of Lassen County, after due notice and a public hearing held on November 5, 2019, has considered Use Permit #2019-004, filed by Zayo Group, LLC, to construct a 420-square-foot fiber-optic equipment shelter that is accessory to a proposed fiber optic line to be placed within the right-of-way of U.S. Highway 395. The fiber-optic equipment shelter regenerates the signal of said adjacent fiber-optic line and will be serviced by a back-up generator and surrounded by a security chain-link fence. The project site is located approximately 4.5 miles southeast of Ravendale, CA but does not have an assigned address (APN 069-040-26); and

WHEREAS, Lassen County Code Section 18.112.100 sets forth mandatory findings that the Lassen County Planning Commission must make when considering a use permit application; and

WHEREAS, the Environmental Review Officer has determined proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 of the 2019 CEQA Guidelines; and

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

1. The foregoing recitals are true and correct.
2. The Lassen County Planning Commission finds as follows:
  - a. The proposed project is consistent with the *Lassen County General Plan, 2000*, and the provisions of Lassen County Code Section 18.112, which establish the regulations regarding the issuance of Use Permits.
  - b. That the project, as conditioned, will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or to the general welfare.
3. The Lassen County Planning Commission hereby adopts the Technical Advisory Committee findings dated September 19, 2019, and contained in the Planning Commission staff report.
4. The Lassen County Planning Commission hereby approves Use Permit Application #2019-004, filed by Zayo Group, LLC, subject to the conditions of approval set forth as Exhibit "A" attached hereto.

RESOLUTION NO. \_\_\_\_\_

Page 2 of 4

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the County of Lassen, State of California, on the 5<sup>th</sup> day of November 2019, by the following vote:

AYES: \_\_\_\_\_

NOES: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Chairman  
Lassen County Planning Commission

ATTEST:

\_\_\_\_\_  
Maurice L. Anderson, Secretary  
Lassen County Planning Commission

EXHIBIT "A"  
CONDITIONS OF APPROVAL  
USE PERMIT #2019-004

1. Noncompliance with any of the following use permit conditions shall constitute grounds for revocation of the use permit (pursuant to Lassen County Code Section 18.112.060).
2. The Use Permit shall be granted for the use as approved by the Planning Commission. Substantial revisions and/or expansions of the project will require a new Use Permit, subject to the approval of the Planning Commission. See Exhibit "B" for reference.
3. The applicant must demonstrate that the California Department of Transportation (Caltrans) has approved the proposed fiber-optic line in the U.S. Highway 395 right-of-way before issuance of the building permit for the proposed equipment shelter.
4. The applicant must maintain the original appearance of the equipment shelter as shown on the submitted elevations and pictures.

EXHIBIT "B"

ZAYO SPANISH SPRINGS, CA  
FIBER-OPTIC UTILITY SHELTER MATERIAL BOARD



FINISHED BUILDING

RESOLUTION NO. \_\_\_\_\_

RESOLUTION OF THE LASSEN COUNTY PLANNING COMMISSION DISAPPROVING  
USE PERMIT 2019-004, ZAYO GROUP, LLC (LARRY R. WILLIAMSON)

WHEREAS, the Planning Commission of Lassen County, after due notice and a public hearing held on November 5, 2019, has considered Use Permit #2019-004, filed by Zayo Group, LLC, to construct a 420-square-foot fiber-optic equipment shelter that is accessory to a proposed fiber optic line to be placed within the right-of-way of U.S. Highway 395. The fiber-optic equipment shelter regenerates the signal of said adjacent fiber-optic line and will be serviced by a back-up generator and surrounded by a security chain-link fence. The project site is located approximately 4.5 miles southeast of Ravendale, CA but does not have an assigned address (APN 069-040-26); and

WHEREAS, Lassen County Code Section 18.112.100 sets forth mandatory findings that the Lassen County Planning Commission must make when considering a use permit application; and

WHEREAS, the Environmental Review Officer of the County of Lassen has determined that the California Environmental Quality Act does not apply to projects that are disapproved, pursuant to Section 15270 of the 2019 California Environmental Quality Act Guidelines.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

1. The foregoing recitals are true and correct.
2. The Lassen County Planning Commission finds as follows:
  - a. The proposed project is not consistent with the *Lassen County General Plan, 2000*, and the provisions of Lassen County Code Section 18.112, which establish the regulations regarding the issuance of Use Permits.
  - b. That the project, as conditioned, will, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare.
3. The Lassen County Planning Commission hereby adopts the Technical Advisory Committee findings dated September 19, 2019, and contained in the Planning Commission staff report.
4. The Lassen County Planning Commission hereby disapproves Use Permit Application #2019-004, filed by Zayo Group, LLC.

RESOLUTION NO. \_\_\_\_\_

Page 2 of 2

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the County of Lassen, State of California, on the 5<sup>th</sup> day of November 2019, by the following vote:

AYES: \_\_\_\_\_

NOES: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

\_\_\_\_\_  
Chairman  
Lassen County Planning Commission

ATTEST:

\_\_\_\_\_  
Maurice L. Anderson, Secretary  
Lassen County Planning Commission





County of Lassen  
Department of Planning and Building Services

• Planning

• Building Permits

• Code Enforcement

• Surveyor

• Surface Mining

September 19, 2019

Maurice L. Anderson, Director  
707 Nevada Street, Suite 5  
Susanville, CA 96130-3912  
Phone: 530 251-8269  
Fax: 530 251-8373  
email: landuse@co.lassen.ca.us  
website: www.co.lassen.ca.us

Zoning & Building  
Inspection Requests  
Phone: 530 257-5263

TO: Technical Advisory Committee  
Agenda Date: October 3, 2019

FROM: Maurice L. Anderson, Director

RE: **USE PERMIT #2019-004, Zayo Group, LLC (Larry R. Williamson).** Proposal to construct a 420-square-foot fiber-optic equipment shelter that is accessory to a proposed fiber optic line to be placed within the right-of-way of U.S. Highway 395. The fiber-optic equipment shelter regenerates the signal of said adjacent fiber-optic line and will be serviced by a back-up generator and surrounded by a security chain-link fence. The proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15303 of the 2019 CEQA Guidelines. The subject parcel is zoned U-C-2 (Upland Conservation/Resource Management District) and has an "Extensive Agriculture" land use designation in the *Lassen County General Plan, 2000*. The project site is located approximately 4.5 miles southeast of Ravendale, CA but does not have an assigned address. APN: 069-040-26. Staff Contact: Stefano Richichi, Associate Planner

**The Planning Division of the Lassen County Department of Planning and Building Services finds as follows:**

1. The subject parcel is zoned U-C-2 (Upland Conservation/Resource Management District).
2. The subject parcel has an "Extensive Agriculture" land use designation in the *Lassen County General Plan, 2000*.
3. The northwestern portion of the subject parcel is within a Zone A flood zone (1-percent-annual chance flood event); however, the project site is not within the 100-year flood zone as described by the Federal Emergency Management Agency (FEMA).
4. The subject parcel is in a "Scenic Highway Corridor" per the *Lassen County General Plan, 2000*.
5. The applicant is proposing to construct a 420-square-foot fiber-optic equipment shelter that is accessory to a proposed fiber optic line to be placed within the right-of-way of U.S. Highway 395.
6. According to Lassen County Code Section 18.102.020(b)(2), nonpublic utility lines for transmission or distribution of electricity...telephone, television, or other utility may be permitted in all districts; provided that in any case necessitating right-of-way acquisition, a use permit shall be secured in each case prior to such acquisition."



7. Although Lassen County does not have permitting authority over the proposed fiber-optic line in the U.S. 395 right-of-way, the proposed fiber-optic equipment shelter is accessory to said fiber-optic line. Furthermore, because said line will be placed in the right-of-way, it "necessitates right-of-way acquisition" for the purposes of the Lassen County Code. Because said fiber-optic line, if Lassen County did have permitting authority over said line, would require a use permit application, and the equipment shelter is allowed only as accessory to said line, the proposed equipment shelter also requires a use permit.
8. Pursuant to Lassen County Code Section 18.112.030, the Technical Advisory Committee shall review all use permit applications (and amendments) and shall prepare recommended conditions of approval for consideration by the County (in this case, the Planning Commission).
9. The land use element of the Lassen County General Plan, 2000 describes the "Extensive Agriculture" land use designation as follows:

***Extensive Agriculture***

*The Extensive Agriculture designation primarily represents typical rangeland areas with grazing and general rangeland values, natural wildlife habitat, open space and scenic values, and/or low intensity outdoor-oriented recreational values. It also includes general forest areas, timber production areas and related uses. Large parcel sizes are required to support and protect resource values. Except in special "open space" areas, it may accommodate limited dispersed residential uses; however, such uses will typically be related and secondary to agricultural and other resource-based land uses, including dispersed recreation and mining. Subject to County permit requirements and the provisions of related elements of the General Plan, areas designated Extensive Agriculture may also accommodate natural resource-related production facilities, including but not limited to: mineral extraction and processing, including asphalt and similar plants; saw mills and logging operations; and facilities for the processing of agricultural products.*

*The "Extensive Agriculture" designation has generally incorporated and replaced the "Grazing and Sagebrush Environment" designation used in the 1968 General Plan and in some area plans. Where the term "Grazing and Sagebrush Environment" continues to be used, it shall be considered to be synonymous with "Extensive Agriculture." The Extensive Agriculture designation has also incorporated areas which were designated "General Forest Environment."*

*To the extent that residential uses are allowed, building intensity will generally not exceed .025 [Dwelling Units per Acre]. Population density will generally average .067 [Persons per Acre]. Exceptions to these averages would include limited farm labor housing facilities.*

*Corresponding Zoning: "U-C", Upland Conservation District; "U-C-2", Upland Conservation/Resource Management District; "T-P-Z", Timber Production Zone.*

10. The following goals, objectives, implementation measures and descriptions from the *Lassen County General Plan, 2000*, also pertain to the proposal:

### **Designation of Land Uses**

- *Implementation Measure LU-A: The County shall utilize the zoning provisions of the Lassen County Code to adopt and enforce corresponding zoning districts, and to consider the approval of related use permits and land divisions, which implement and are compatible with the policies, general land uses and programs specified in this Land Use Element and in area plans adopted as part of the General Plan.*
- *Implementation Measure LU-B: The County recognizes the need and legal requirements for making land use decisions which are consistent with the General Plan.*

### **1. ISSUE: Land Use Compatibility**

- *GOAL L-4: Compatibility between land use types by providing for complementary mixtures and patterns of land uses.*
- *LU-6 POLICY: The County recognizes general plan land use designations and consistent zoning as the appropriate and primary tools for attempting to achieve and maintain compatibility of land uses within the context of the County's land use authority and local control.*

### **6. ISSUE: Commercial Land Uses**

- *GOAL L-12: Increase community wealth and the provision of needed commercial services through economic growth and diversification by sustaining and facilitating the expansion of existing commercial operations and by encouraging new commercial ventures.*

### **Scenic Corridor**

- *Scenic Corridors identify areas bordering major highways which have significant or sensitive scenic values due to the existence of significant features and the level of public exposure to those areas. This designation always overlays a primary land use designation. Although special standards may apply to development within such corridors (e.g. design review criteria), uses allowed and corresponding zoning and development standards, including building intensity and population density, area factors of the primary land use designations.*

11. The Planning Commission will determine whether the proposed project is consistent with the *Lassen County General Plan, 2000*, unless the proposed project is appealed to the Board of Supervisors, in which case, said body would determine the above.

**The Planning Division of the Lassen County Department of Planning and Building Services recommends the following conditions be placed on the project if approved:**

1. Noncompliance with any of the following use permit conditions shall constitute grounds for revocation of the use permit (pursuant to Lassen County Code Section 18.112.060).
2. The Use Permit shall be granted for the use as approved by the Planning Commission. Substantial revisions and/or expansions of the project will require a new Use Permit, subject to the approval of the Planning Commission.
3. The applicant must demonstrate that the California Department of Transportation (Caltrans) has approved the proposed fiber-optic line in the U.S. Highway 395 right-of-way before issuance of the building permit for the proposed equipment shelter.
4. The applicant must maintain the original appearance of the equipment shelter as shown on the submitted elevations and pictures.



# DEPARTMENT of PUBLIC WORKS

County of Lassen



**LARRY MILLAR**, Director  
Public Works/Road/Transportation  
County Engineer


707 Nevada Street, Suite 4  
Susanville, CA 96130

☎ 530) 251-8288  
FAX: (530) 251-2675

TAC  
2019/257

September 27, 2019

TO: County Planning and Building Services

FROM: Larry Millar   
Department of Public Works, Road Department

SUBJECT: Use Permit 2019-005 Zayo Group, LLC (Larry R. Williamson)  
Technical Advisory Meeting, October 3, 2019

FINDINGS: Access to the parcel is from U.S. Highway 395, which is not in the County  
Maintained Road System.

CONDITIONS: None



*County of Lassen*  
Department of Planning and Building Services

• Planning • Building Permits • Code Enforcement • Surveyor • Surface Mining

September 20, 2019

**Maurice L. Anderson, Director**  
707 Nevada Street, Suite 5  
Susanville, CA 96130-3912  
Phone: 530 251-8269  
Fax: 530 251-8373  
email: landuse@co.lassen.ca.us  
website: www.co.lassen.ca.us

TO: Technical Advisory Committee  
Agenda Date: October 3, 2019

Zoning & Building  
Inspection Requests  
Phone: 530 257-5263

FROM: Don Willis, Lassen County Surveyor

RE: Use Permit No. 2019-004 – Zayo Group, LLC (applicant)  
Larry R. Williamson (owner)  
Assessor's Parcel Number: 069-040-26.

**LASSEN COUNTY SURVEYOR FINDS AS FOLLOWS:**

1. The subject property is currently owned by Larry R. Williamson, an unmarried man, as shown at a Grant Deed recorded on November 13, 2014, as Document Number 2014-04951 of the Official Records of Lassen County, California. This property is further known as Assessor's Parcel Number 069-040-26 and is located in portions of Sections 5, 6 and 7, Township 33 North, Range 15 East, Mount Diablo Base and Meridian.
2. The legal description for the property noted in Findings Item Number One above describes four separate parcels. The subject parcel is described within Parcel Four of Mr. Williamson's vesting deed as the SW1/4 of the SW1/4 of Section 5, the SE1/4 of the SE1/4 of Section 6 and the E1/2 of the NE1/4 of Section 7, all in Township 33 North, Range 15 East, Mount Diablo Base and Meridian.
3. Each of the four parcels described in Mr. Williamson's vesting deed has a separately recorded Certificate of Compliance document that has been recorded in the Official Records of Lassen County. The Certificate of Compliance for the subject parcel was recorded on August 11, 1994, in Book 601, Page 872, of the Official Records of Lassen County. The recording of this document validates the parcel as being created in compliance with the provisions of the Subdivision Map Act and local ordinances.
4. The subject parcel abuts U.S. Highway 395 as demonstrated by the legal description within a Grant Deed recorded at Book 50, Page 207, of the Official Records of Lassen County. This deed granted a 0.40 acre portion of land located in the SE1/4 of the NE1/4 of said Section 7 from private ownership to the State of California for State Highway purposes.

**LASSEN COUNTY SURVEYOR RECOMMENDS THE FOLLOWING CONDITIONS  
FOR USE PERMIT NO. 2019-004 (ZAYO GROUP, LLC/LARRY R. WILLIAMSON):**

1. None.

Respectfully Submitted,



Don Willis, L.S. 7742  
Lassen County Surveyor



*County of Lassen*  
Department of Planning and Building Services

• Planning • Building Permits • Code Enforcement • Surveyor • Surface Mining

June 3, 2019

**Maurice L. Anderson, Director**  
707 Nevada Street, Suite 5  
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Larry Williamson  
P.O. Box 967  
Lafayette, CA 94546

Zoning & Building  
Inspection Requests  
Phone: 530 257-5263

Rex Atkinson  
8730 Powderhorn Way  
Indianapolis, IN 46256

RE: Use Permit #2019-004 and Initial Study #2019-002, Williamson

This letter is to inform you that this Department has determined that the above-referenced applications are incomplete and is providing you an opportunity to submit supporting information necessary for this Department to accept said applications as complete, under Government Code Section 65943.

At this time, there are two (broad) items that must be addressed:

1. Authority for Application

It appears that Zayo Group, LLC (Zayo) is in fact the applicant for your applications, while Mr. Rex Atkinson would be the agent. Zayo holds the certificate of public convenience and necessity issued by the California Public Utilities Commission (CPUC), and it appears that CPUC has also prepared the environmental document required under the California Environmental Quality Act for Zayo; the submitted preliminary building plans are also in Zayo's name. Therefore, the application must be modified to show Zayo as the applicant, with Mr. Atkinson as the agent. An authorized Zayo representative must sign the application.

Furthermore, although Mr. Dave Snyder of Zayo has authorized Five Nine Design Group to apply on Zayo's behalf, it is unclear whether Mr. Snyder himself has the authority to do so. This Department has consulted both information from the California Secretary of State and the California Public Utilities Commission (see attached) in an attempt to demonstrate Mr. Snyder's authority, but has not found Mr. Snyder's name among the authorized contacts. Please submit documentation showing Mr. Snyder has the authority to authorize Five Nine Design Group to act on behalf of Zayo.

Lastly, while Mr. Atkinson has signed the above-referenced applications on behalf of Five Nine Design Group, this Department must know that Mr. Atkinson has the authority to apply on Five Nine Design Group's behalf. Please submit documentation stating as such.

In short, it appears that Zayo is in fact the applicant, while Mr. Atkinson is the agent for the above project; your application must be updated to reflect this. Additionally, please provide evidence to demonstrate that the above persons have the authority to sign and submit applications on behalf of their respective organizations.



## 2. Plot Plan

In addition, the map submitted with your application showing the proposed route of the fiber optic line is currently deficient. The map appears to have been copied from Google Maps; Lassen County Code Section 18.102.020(b)(2) requires that your use permit application be "accompanied by plans, showing on current [U.S. Geological Survey] Quadrangle or equivalent maps, the right-of-way route proposed" for the related fiber optic cable. For illustration, 7.5-minute quadrangle maps have a scale of 1:24,000. Please provide such maps depicting the proposed route of the fiber optic line to this Department.

Again, this Department cannot accept your application as complete (as described at Government Code Section 65943) at this time until the above items are satisfied. In order to process your application properly, this Department needs as specific information as possible. Once the above is submitted and your application is accepted as complete, additional information and/or submittals may be required during the processing of your application.

Please contact Associate Planner Stefano Richichi at (530) 251-8269 or [srichichi@co.lassen.ca.us](mailto:srichichi@co.lassen.ca.us) if you have further questions.

Sincerely,



*for* Maurice L. Anderson,  
Director

MLA:smr

Enclosures: Statement of Information from California Secretary of State  
Utility Contact System Search from California Public Utilities Commission

S:/PLA/Planning/2019/UP #2019-004, Williamson/Hold Letter





Secretary of State  
Statement of Information  
(Limited Liability Company)

LLC-12

19-A07842

FILED

In the office of the Secretary of State  
of the State of California

JAN 07, 2019

This Space For Office Use Only

**IMPORTANT** — Read instructions before completing this form.

Filing Fee — \$20.00

Copy Fees — First page \$1.00; each attachment page \$0.50;  
Certification Fee — \$5.00 plus copy fees

1. Limited Liability Company Name (Enter the exact name of the LLC. If you registered in California using an alternate name, see instructions.)

ZAYO GROUP, LLC

2. 12-Digit Secretary of State File Number

201102810347

3. State, Foreign Country or Place of Organization (only if formed outside of California)

DELAWARE

4. Business Addresses

a. Street Address of Principal Office - Do not list a P.O. Box 1805 29th Street STE 2050	City (no abbreviations) Boulder	State CO	Zip Code 80301
b. Mailing Address of LLC, if different than item 4a 1805 29th Street STE 2050	City (no abbreviations) Boulder	State CO	Zip Code 80301
c. Street Address of California Office, if Item 4a is not in California - Do not list a P.O. Box	City (no abbreviations)	State CA	Zip Code

5. Manager(s) or Member(s)

If no managers have been appointed or elected, provide the name and address of each member. At least one name and address must be listed. If the manager/member is an individual, complete Items 5a and 5c (leave Item 5b blank). If the manager/member is an entity, complete Items 5b and 5c (leave Item 5a blank). Note: The LLC cannot serve as its own manager or member. If the LLC has additional managers/members, enter the name(s) and addresses on Form LLC-12A (see instructions).

a. First Name, if an individual - Do not complete Item 5b Daniel	Middle Name	Last Name Caruso	Suffix
b. Entity Name - Do not complete Item 5a			
c. Address 1805 29th Street STE 2050	City (no abbreviations) Boulder	State CO	Zip Code 80301

6. Service of Process (Must provide either Individual OR Corporation.)

INDIVIDUAL — Complete Items 6a and 6b only. Must include agent's full name and California street address.

a. California Agent's First Name (if agent is not a corporation)	Middle Name	Last Name	Suffix
b. Street Address (if agent is not a corporation) - Do not enter a P.O. Box	City (no abbreviations)	State CA	Zip Code

CORPORATION — Complete Item 6c only. Only include the name of the registered agent Corporation.

c. California Registered Corporate Agent's Name (if agent is a corporation) — Do not complete Item 6a or 6b

C T CORPORATION SYSTEM (C0168406)

7. Type of Business

a. Describe the type of business or services of the Limited Liability Company  
Telecom

8. Chief Executive Officer, if elected or appointed

a. First Name Daniel	Middle Name	Last Name Caruso	Suffix
b. Address 1805 29th Street STE 2050	City (no abbreviations) Boulder	State CO	Zip Code 80301

9. The Information contained herein, including any attachments, is true and correct.

01/07/2019

Charles Forst

Dir. Regulatory Reporting

Date

Type or Print Name of Person Completing the Form

Title

Signature

**Return Address (Optional)** (For communication from the Secretary of State related to this document, or if purchasing a copy of the filed document enter the name of a person or company and the mailing address. This information will become public when filed. SEE INSTRUCTIONS BEFORE COMPLETING.)

Name: [ ]

Company:

Address:

City/State/Zip: [ ]



**LLC-12A**  
**Attachment**

19-A07842

**A. Limited Liability Company Name**

ZAYO GROUP, LLC

This Space For Office Use Only

B. 12-Digit Secretary of State File Number

201102810347

**C. State or Place of Organization** (only if formed outside of California)

DELAWARE

D. List of Additional Manager(s) or Member(s) - If the manager/member is an individual, enter the individual's name and address. If the manager/member is an entity, enter the entity's name and address. Note: The LLC cannot serve as its own manager or member.

[illegible]



## Utility Contact System Search

The Utility Contact System (UCS) is the Communications Division's database for the primary regulatory contact for each telephone corporation operating in California. The Communications Division sends important regulatory notices to the regulatory contact for each telephone corporation via e-mail, so it is important for primary regulatory contacts to update their UCS record if their e-mail address changes.

Telephone corporations may update UCS contact information using the form on the following page: [Carrier Reporting Requirements](#)

A description of the different utility types (granted authorities) are listed on the following page: [Utility Type Descriptions](#)

Search Utility Name

Search Utility Number

Utility Name	Alias (DBA Name)	Utility Number	Street Address	City A	State	Zip	Phone Number	Email	Utility Type	CPCN Approval Date
Zayo Group, LLC		6102	1621 18TH STREET	DENVER	CO	80202	(303) 854-5210	charles.forst@zayo.com	CLC	08-21-2008
Zayo Group, LLC		6102	1621 18TH STREET	DENVER	CO	80202	(303) 854-5210	charles.forst@zayo.com	IEC	08-21-2008
Zayo Group, LLC		6102	901 FRONT. STREET, SUITE 200	LOUISVILLE	CO	80027	(509) 661-2110	khedine@gohighspeed.com	IEC	08-21-2008
Zayo Group, LLC		6102	250 EAST PENNY ROAD	WENATCHEE	WA	98801	(509) 661-2110	gmcglynn@inti.us	IEC	08-21-2008
Zayo Group, LLC		6102	250 EAST PENNY ROAD	WENATCHEE	WA	98801	(509) 661-2110	gmcglynn@inti.us	CLC	08-21-2008

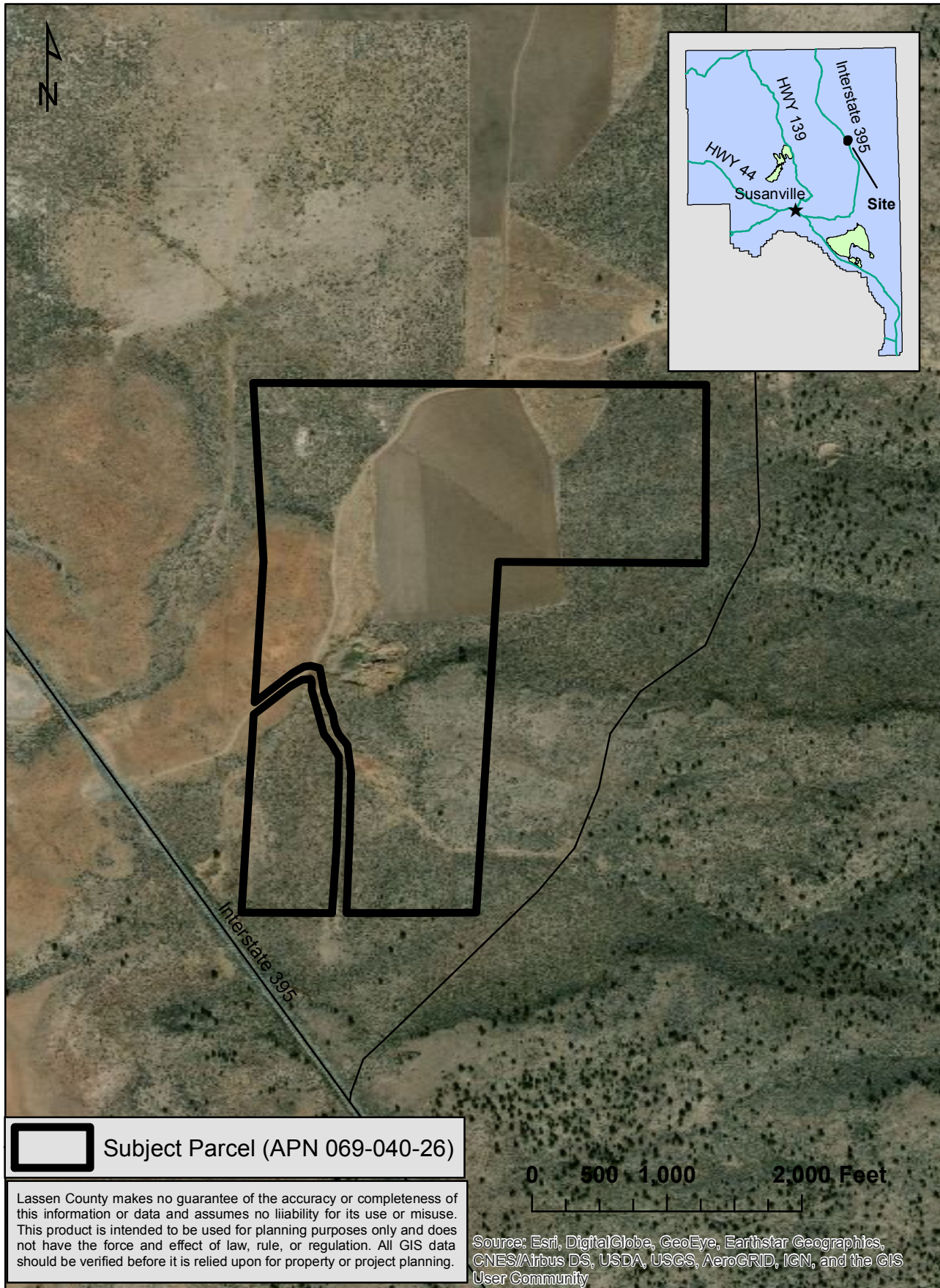
[Save Search Results as CSV Spreadsheet](#)

1 - 5

[Comments & Feedback](#)



# Use Permit #2019-004, Zayo (Williamson)







## USE PERMIT APPLICATION

FILING FEE: CLASS 1 \$397 CLASS 2 \$571 CLASS 3 \$2,381  
DEPARTMENT OF PLANNING AND BUILDING SERVICES  
707 Nevada Street, Suite 5 • Susanville, CA 96130-3912  
(530) 251-8269 • (530) 251-8373 (fax)  
www.co.lassen.ca.us

RECEIVED

SEP 09 2019

Form must be typed or printed clearly in black or blue ink. All sections must be completed in full.  
This application consists of one page; only attach additional sheets if necessary.

LASSEN COUNTY DEPARTMENT OF  
PLANNING AND BUILDING SERVICES  
FILE NO. 2019-024

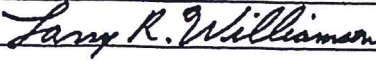
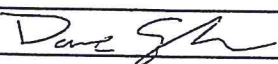
Property Owner/s	Property Owner/s
Name: Larry R Williamson	Name:
Mailing Address: PO Box 967	Mailing Address:
City, ST, Zip: Lafayette CA 94546	City, ST, Zip:
Telephone: 530-200-4666 Fax: 530-528-8377	Telephone: Fax:
Email: williamsonre@gmail.com	Email:

Applicant/Authorized Representative*	Agent (Land Surveyor/Engineer/Consultant)
Same as above: <input type="checkbox"/>	Correspondence also sent to: <input checked="" type="checkbox"/>
Name: Zayo Group, LLC (Dave Snyder)	Name: Rex Atkinson
Mailing Address: 1621 18th Street	Mailing Address: 8730 Powderhorn Way
City, ST, Zip: Denver, CO 80202	City, ST, Zip: Indianapolis, IN 46256
Telephone: 720-495-4600 Fax:	Telephone: 812-987-5316 Fax: 833-348-3934
Email: Dave.Snyder@Zayo.com	Email: rex@five9dg.com License #:

Project Address or Specific Location: Situs CA 395 Ravendale, CA 96123			
Deed Reference: Book: 57	Page: 15	Year: 2014	Doc#: 2014-04951
Zoning: U-C-2 Upland Conservation / Resource Management District		General Plan Designation: Agriculture	
Parcel Size (acreage): 0.25 Acres Lease Area (160 Acres)		Section: Lease7 (6,5) Township: 33N Range: 15E	

Assessor's Parcel Number(s):	069 - 040 - 2611	- -	- -
- -	- -	- -	- -

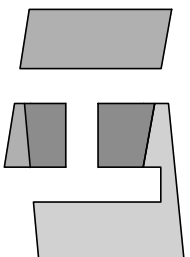
<b>Project Description:</b>
Unmanned, premanufactured, fiber-optic equipment shelter. The fiber-optic equipment shelter regenerates the signal for the proposed adjacent Zayo fiber-optic line. The shelter is serviced by a back-up generator and surrounded by a security fence.

<b>SIGNATURE OF PROPERTY OWNER(S): I HEREBY ACKNOWLEDGE THAT:</b> I have read this application and state that the information given is both true and correct to the best of my knowledge. I agree to comply with all County ordinances and State laws concerning this application.	<b>*SIGNATURE OF APPLICANT/AUTHORIZED REPRESENTATIVE</b> (Representative may sign application on behalf of the property owner only if Letter of Authorization from the owner/s is provided).
 Date: 06/04/2019	 Date: 08/28/2019
Date:	Date:

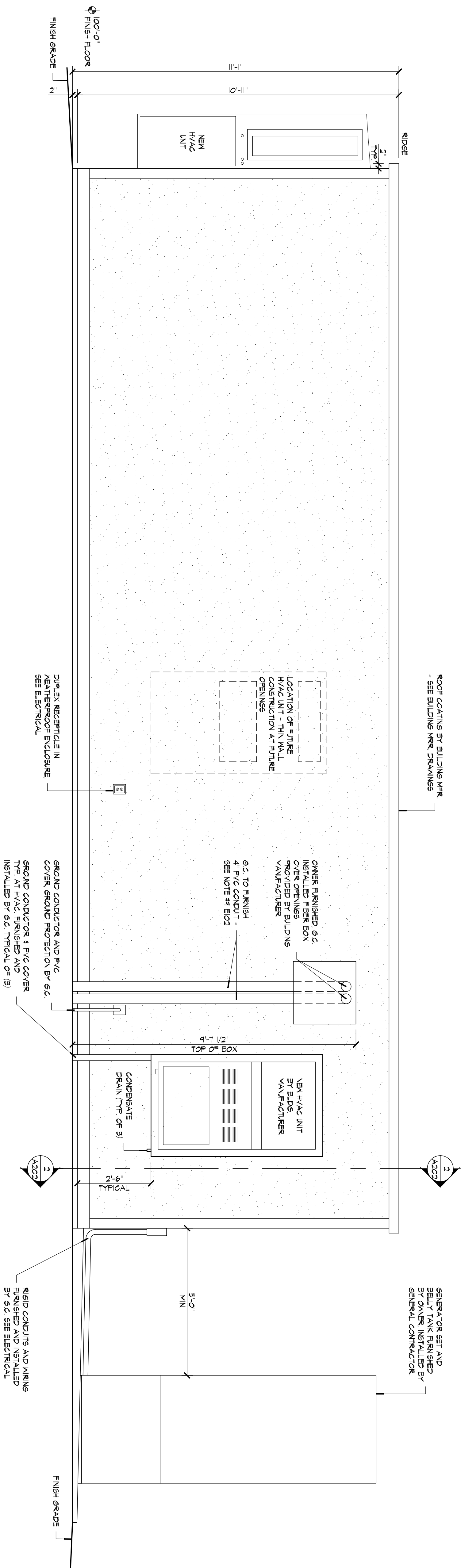
See associated process form for required attachments and instructions.





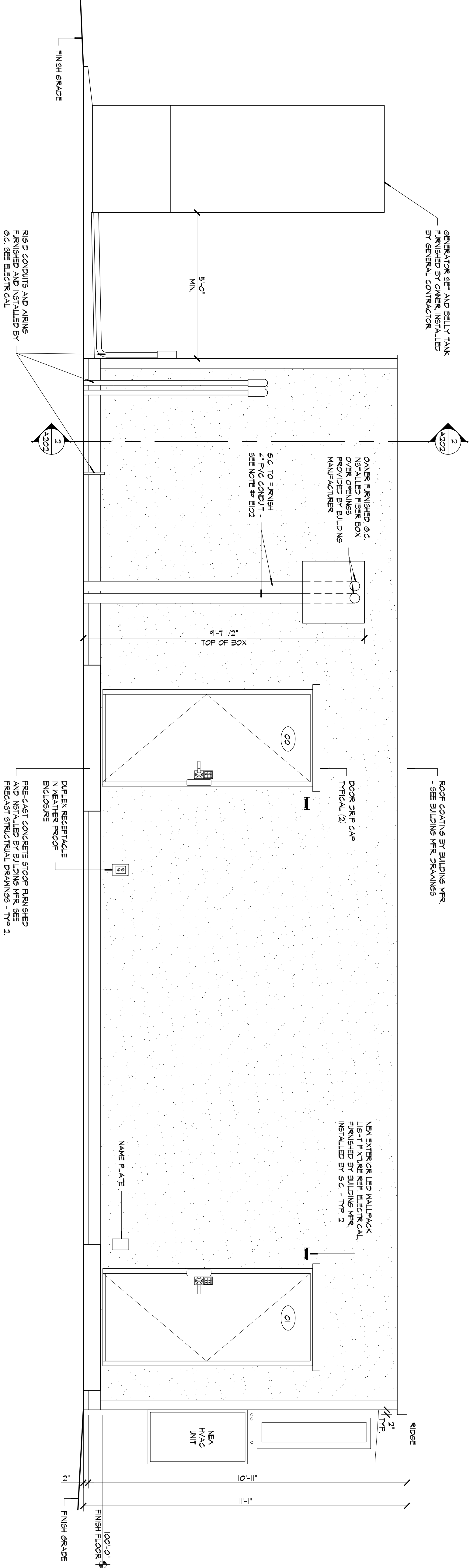


THIS IS AN ORIGINAL DESIGN CREATED BY FIVE NINE DESIGN GROUP. THE CONCEPTS, IDEAS, PLANS AND DETAILS ARE THE SOLE PROPERTY OF FIVE NINE DESIGN GROUP. NO PART OF THIS DESIGN SHALL BE REPRODUCED, COPIED, CLONED, OR OTHERWISE USED BY ANY PERSON, WITHOUT THE WRITTEN PERMISSION OF FIVE NINE DESIGN GROUP. THE WRITTEN PERMISSION OF FIVE NINE DESIGN GROUP SHALL BE OBTAINED FROM FIVE NINE DESIGN GROUP. ALL DIMENSIONS AND CONDITIONS ON THE JOB AND FIVE NINE DESIGN AND CONDITIONS SHOWN ON THESE DRAWINGS.



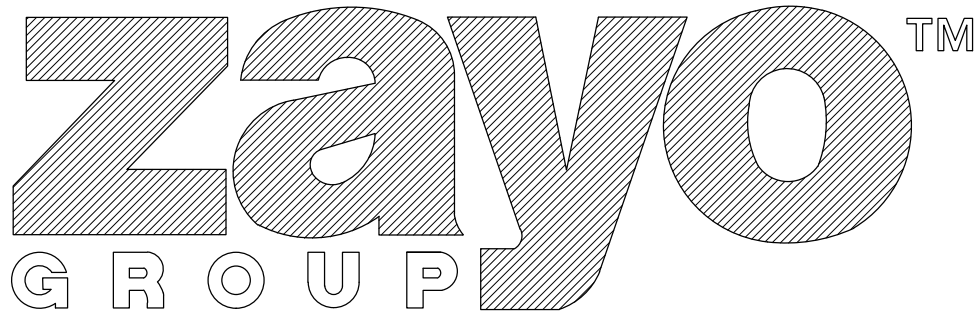
**2 EXTERIOR ELEVATION**

A201 SCALE: 1/2" = 1'-0"



**1 EXTERIOR ELEVATION**

A201 SCALE: 1/2" = 1'-0"



"UNASSIGNED" CA-395  
RAVENDALE, CA 96123

NUMBER	DATE	ISSUES	REVISION
1-2-19	ISSUED FOR PERMITS		

CERTIFICATION

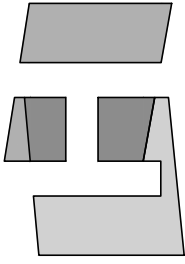
SHEET TITLE:

**EXTERIOR ELEVATIONS**

PROJECT NUMBER: 18022  
CADD FILE: 22A201.DWG  
DRAWN BY: AKZ  
CHECKED BY: BSH

SHEET NUMBER:

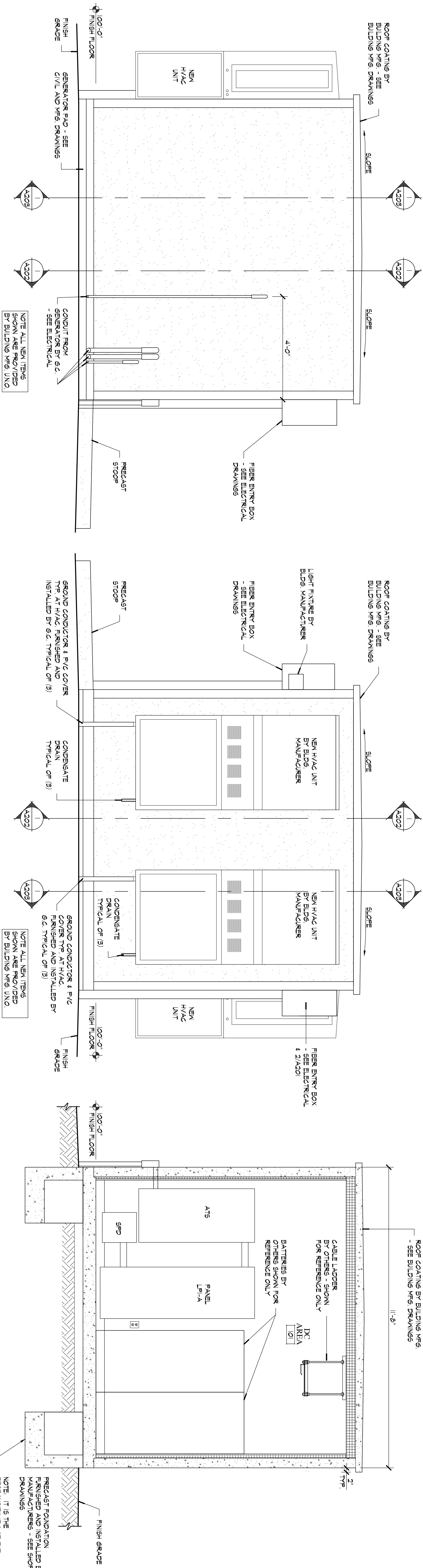
**A201**



# HOCH

architects · interiors

THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.



## 4 EXTERIOR ELEVATION

A202 SCALE: 1/2" = 1'-0"

### 3 EXTERIOR ELEVATION

A202 SCALE: 1/2" = 1'-0"

## 2 BUILDING SECTION

A202 SCALE:  $1/2" = 1'-0"$

RESPONSIBILITY OF THE  
PRECAST FOUNDATION DESIGN  
ENGINEER TO VERIFY WITH  
GEOTECHNICAL ENGINEER THE  
ADEQUACY OF EXISTING SOILS  
TO ACCEPT BUILDING LOADS.  
SEE NOTES 12. AND 13. ON THE  
CIVIL SHEETS

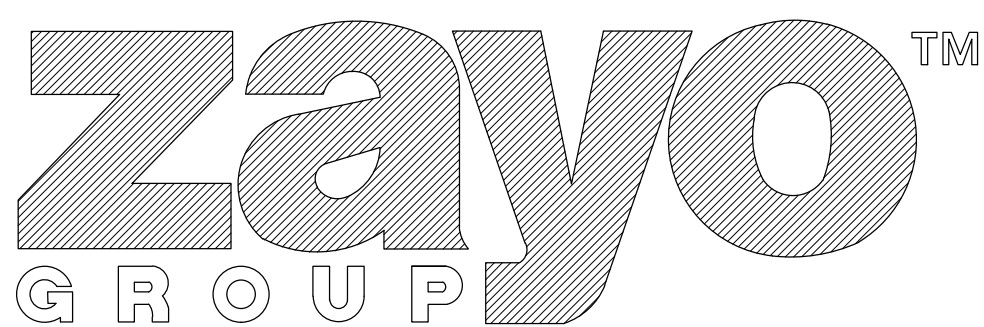
SHEET TITLE:

**EXTERIOR ELEVATIONS  
& BUILDING SECTIONS**

PROJECT NUMBER 18022  
CAD FILE: 22A202.DWG  
DRAWN BY: REA  
CHECKED BY: BSH

SHEET NUMBER:

# A202



"UNASSIGNED" CA-395  
RAVENDALE, CA 96123

7-2-14 ISSUED FOR PERMITS	
NUMBER	DATE DESCRIPTION
	ISSUES

CERTIFICATION:

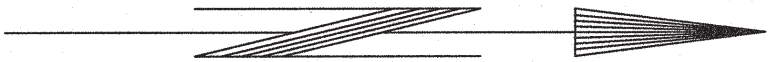
**CERTIFICATION:**

SHEET TITLE:

## 8 BUILDING SECTIONS

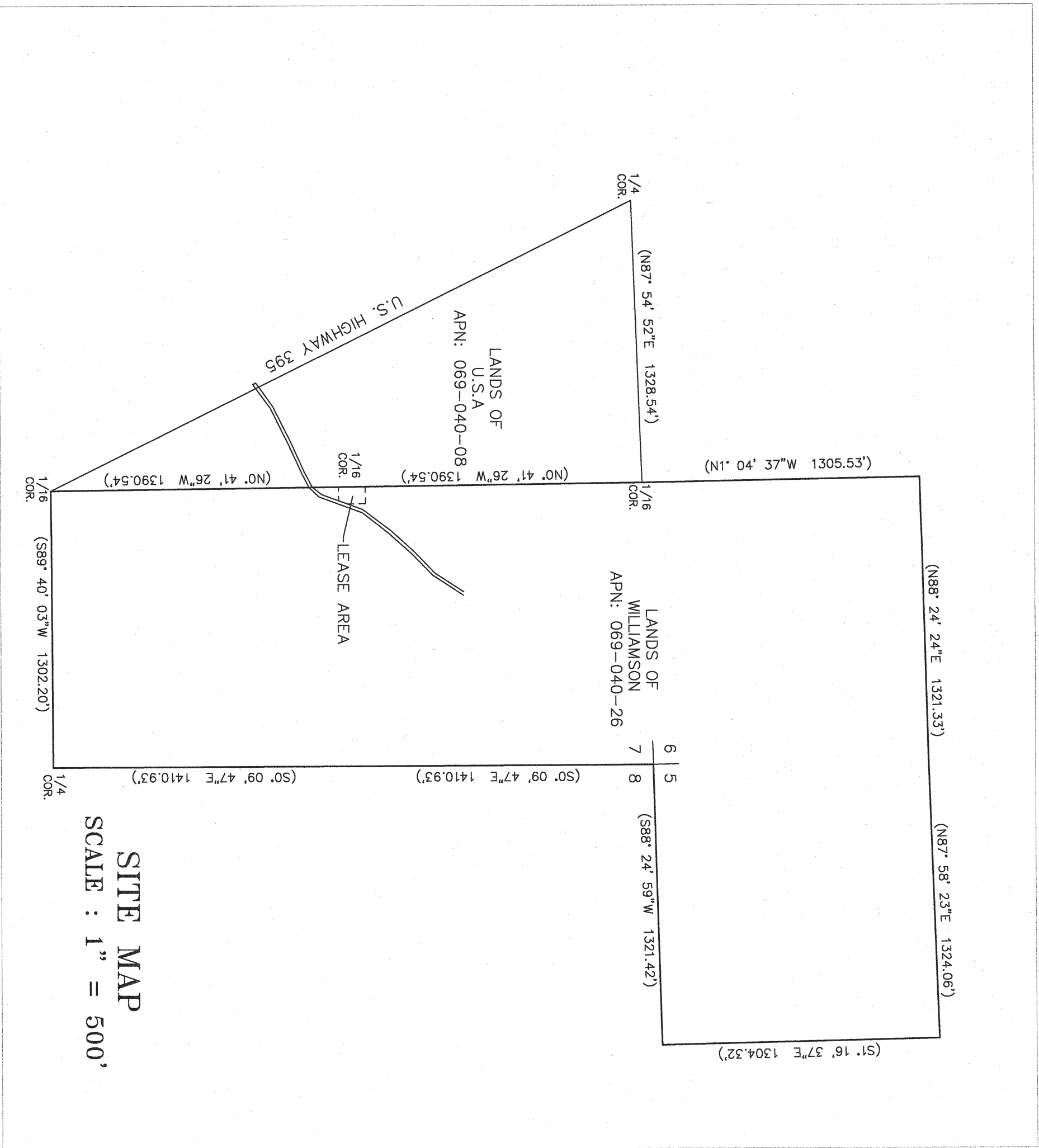


SCALE : 1" = 40'  
1' CONTOURS  
VERTICAL DATUM NAVD88



Lease Area Description

Beginning at a point on the West line of the East 1/2 of the Northeast 1/4 of Section 7, T 33 N, R 15 E, MDB&M distant thereon S 0°41'26" E 1430.46 feet from the northwest corner of said East 1/2 as shown on that Amended Record of Survey No. 10-3405 for Tuscorora Gas Transmission Co. Filed March 13, 2006 in Book 40 at Pages 51 to 55, Lassen County Records, at coordinates N 148082233.0149, E 2383338.3624; thence along said West line N 0°41'26" W 126.02 feet at coordinates N 14808342.6106, E 283355.3943; thence leaving said line N 89°18'34" E 80.02 feet at coordinates N 14808354.2583, E 2383433.7708; thence S 19°41'10" W 44.03 feet at coordinates N 14808233.7989, E 2383403.0485; thence S 89°18'34" W 64.69 feet to the point of beginning. Containing 0.22 acres more or less.

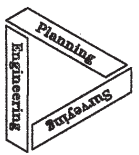


( ) RECORD BEARINGS AND DISTANCES PER 40 MAPS 51-55.

TOPOGRAPHY SURVEY  
FOR  
FIVE NINE DESIGN GROUP

40 MAPS 51-55  
IN SECTIONS 7, T33N, R15E, MDB&M  
IN THE UNINCORPORATED AREA OF LASSEN COUNTY, CALIFORNIA  
SCALE : 1" = 40'

NST Engineering, Inc.  
1488 Riverside Drive  
Susanville, CA 96088  
(530) 507-5173  
2019-015



APRIL 2019

1 OF 1



1. DIMENSIONS ARE TO EDGE OF CONCRETE, PAVING, OR FACE OF BLDG., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL AND AID TO CONSTRUCTION. DO NOT DISMANTLE ALL CANS RIGIDLY WITH THE APPROPRIATE UTILITY COMPANY.

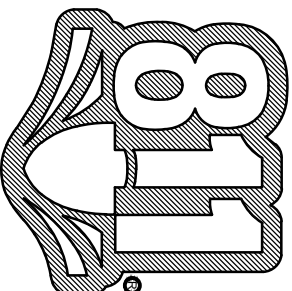
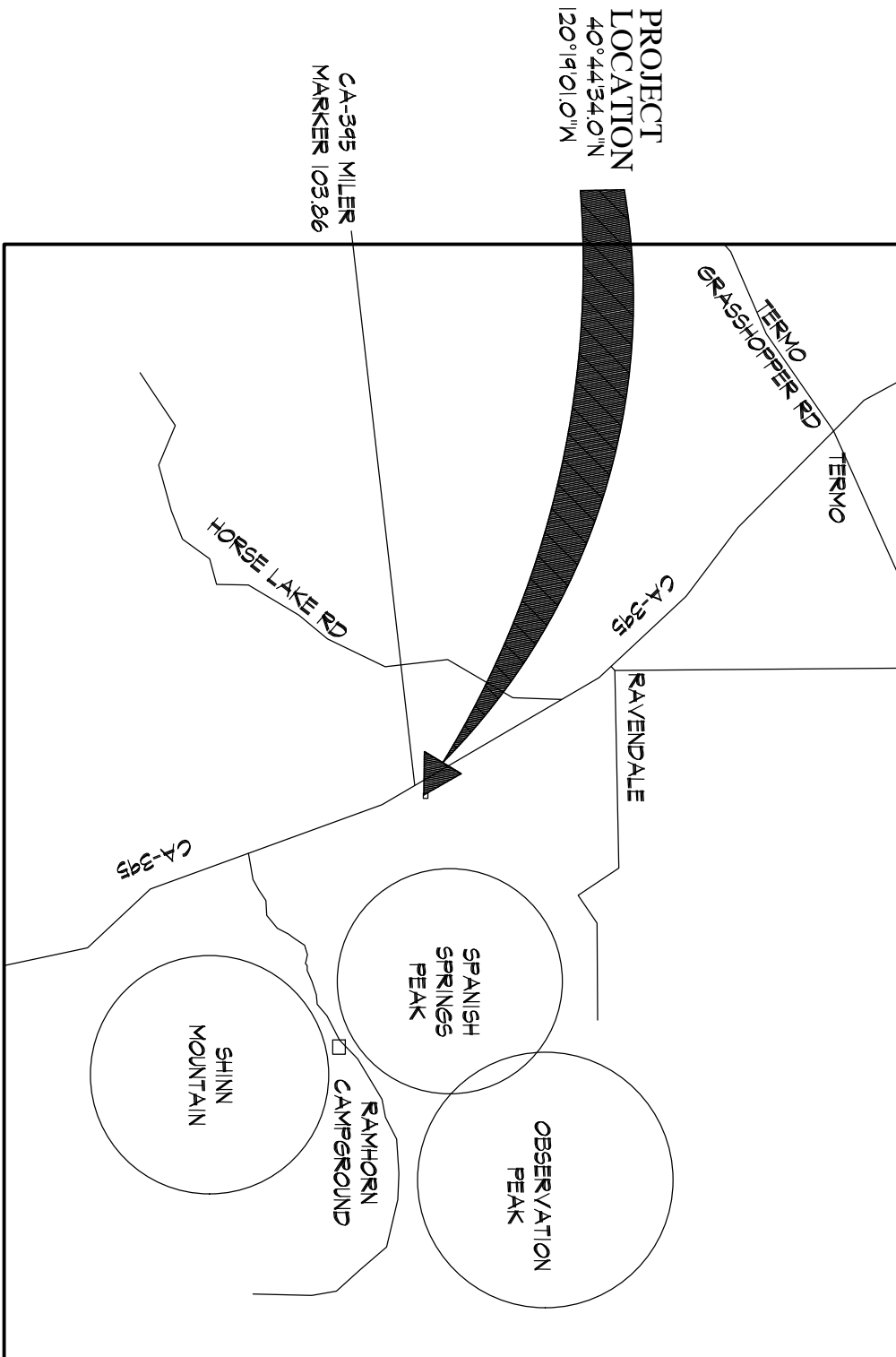
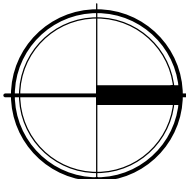
2. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

3. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.

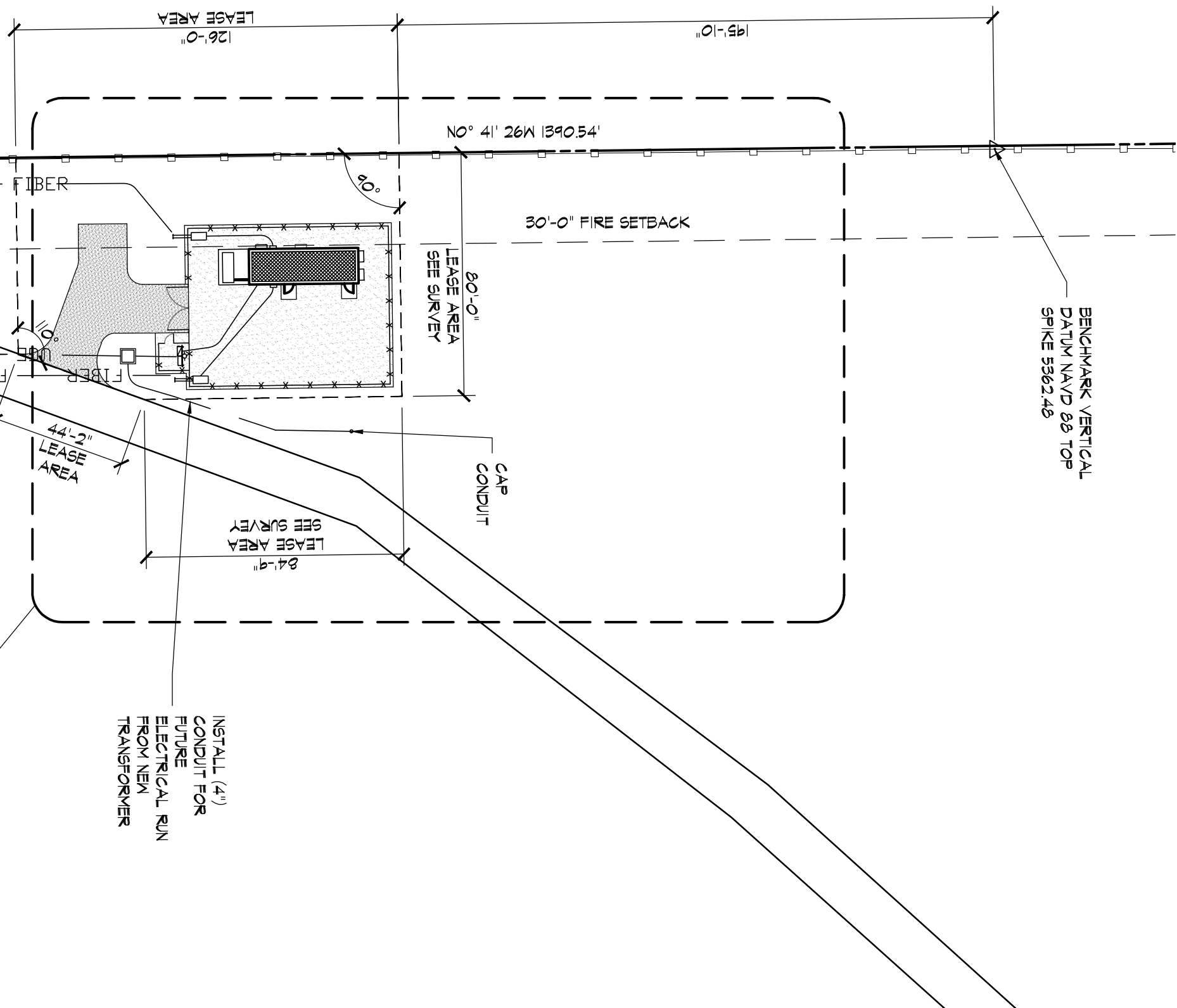
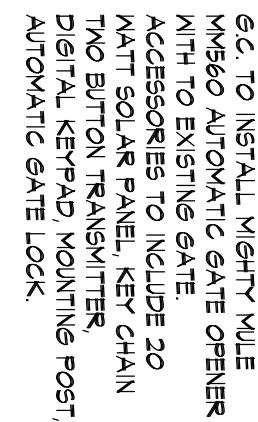
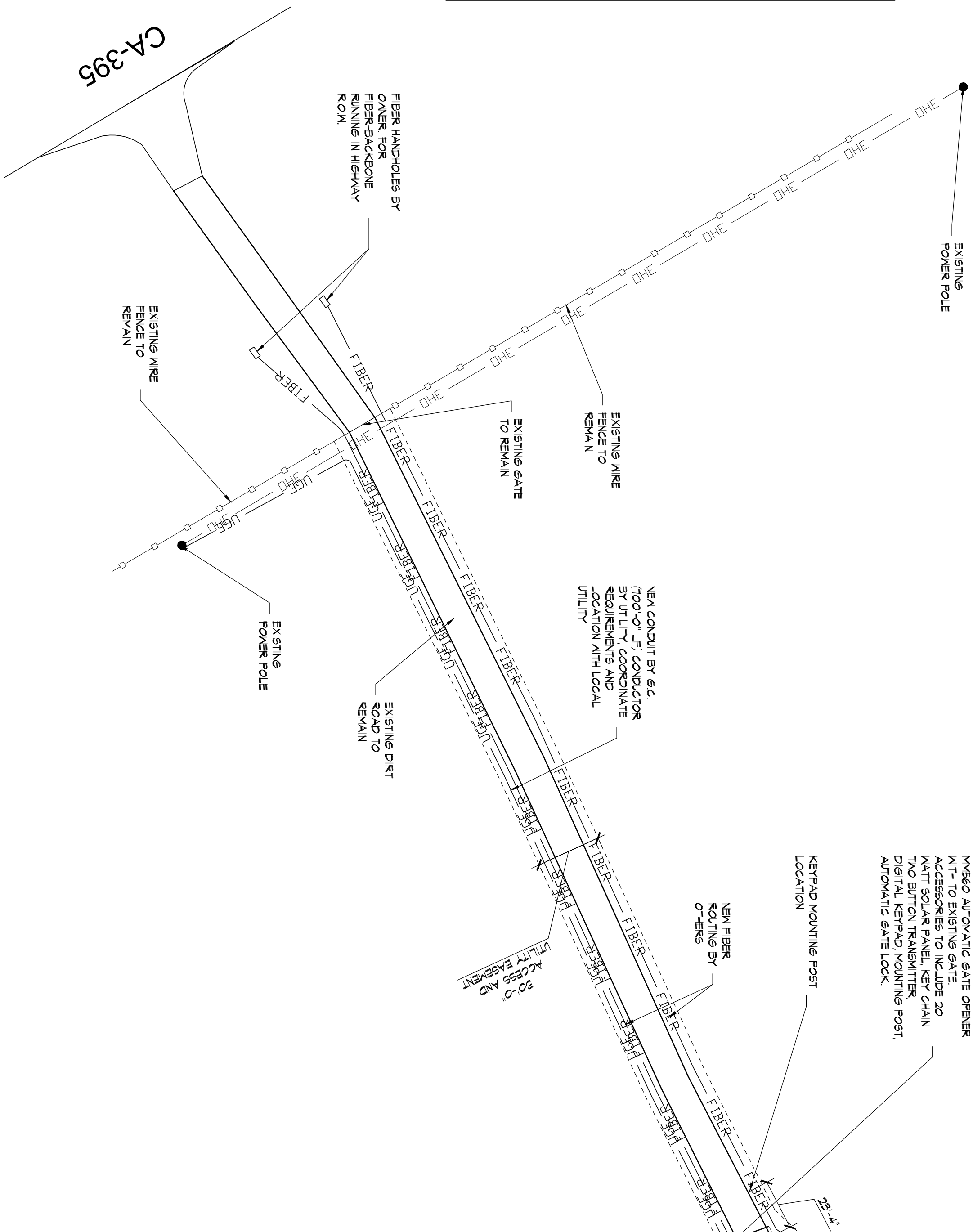
10. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR TO COORDINATE THIS INSTALLATION OF ALL WORK WITHIN THE RIGHT OF WAY WITH COUNTY, STATE, AND LOCAL APROVAL AND REVIEW AGENCIES. ALL CHANGES/CONTR. ETC. DEPICTED BY THE CONSTRUCTION DOCUMENTS SHALL BE REVIEWED WITH THE APPROVAL AGENCIES HAVING JURISDICTION BY THE CONTRACTOR(S) RESPONSIBLE FOR THE WORK PRIOR TO THE INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCIES ARISE FROM THE FINAL CONTRACTOR REVIEW WITH THE APPLICABLE AGENCIES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE ARCHITECT AND ITS REPRESENTATIVE AS DEFINED ON THE TITLE BORDER.

4. ALL DAMAGE TO EXISTING GRASS AREAS AS A RESULT OF NEW CONSTRUCTION SHALL BE RESEED AS THE CONTRACTOR'S EXPENSE.
5. SITE DEVELOPMENT SHALL BE BASED ON A PRE-CONSTRUCTION BOUNDARY & SURVEY. THE SURVEY SHALL BE PROVIDED BY M&T ENGINEERING, INC. 590-657-5173. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY THE SURVEY PRIOR TO BIDDING AND BEGINNING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SURVEY INFORMATION PRESENTED. FIELDWORK, ON-SITE SURVEYING, AND FIELD MEASUREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CURRENT SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY, THE CERTIFIED SURVEY SHALL ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
6. FINISH FLOOR ELEVATION OF NEW BUILDING EQUALS 5368.0'. 5368.0' ± 100'-0" IN CONSTRUCTION DOCUMENTS.
7. COORDINATE SUBGRADE PREPARATION WITH GEOTECHNICAL INFORMATION AND ARCHITECTURAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CURRENT SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY, THE CERTIFIED SURVEY SHALL ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
8. ALL ITEMS BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
9. GENERAL CONTRACTOR TO LOCATE ALL EXISTING INFRASTRUCTURE UTILITIES (PRIVATE AND PUBLIC) PRIOR TO ANY DIGGING. CONTRACTOR IS RESPONSIBLE FOR ALL DISRUPTIONS TO EXISTING SERVICES, UTILITIES, ETC. AND TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING UTILITIES AND TO ACCEPT BUILDING LOADS.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE ARCHITECT OF ANY DISCREPANCIES OR CHANGES IN THE FOUNDATION, FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND OULCASTS TO STRUCTURAL ENGINEER UPON NOTIFICATIONS FROM THE CONTRACTOR.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY AN ANNO SITE ENGINEER TO OBTAIN A CURRENT SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY, THE CERTIFIED SURVEY SHALL ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE ARCHITECT OF ANY DISCREPANCIES OR CHANGES IN THE FOUNDATION, FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND OULCASTS TO STRUCTURAL ENGINEER UPON NOTIFICATIONS FROM THE CONTRACTOR.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY AN ANNO SITE ENGINEER TO OBTAIN A CURRENT SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY, THE CERTIFIED SURVEY SHALL ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
14. THE CONTRACTOR IS SOLELY RESPONSIBLE TO SUBMIT AND REVIEW ALL OTHER PIPE DESIGN, SIZE AND INSTALLATION STANDARDS WITH MITCHELL OR AGENCY HAVING JURISDICTION (CITY/COUNTY, SUPERVISOR) CONTRACTOR SHALL ENSURE ALL SUBMISSIONS AND APPROVALS HAVE OCCURRED AND APPROVALS REVIEWED PRIOR TO COMMENCEMENT OF WORK. ANY VIOLATION OF THE REVIEW AND APPROVAL PROCESS THAT IS STIPULATED AND STIPULATED IN THE CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECT AND OULCASTS TO STRUCTURAL ENGINEER UPON NOTIFICATIONS FROM THE CONTRACTOR.

## SCALE: NONE


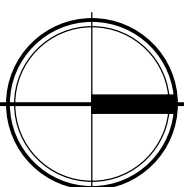
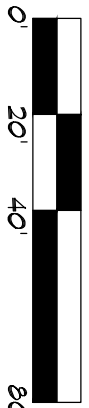


**Know what's below.  
Call before you dig.**



BENCHMARK VERTICAL  
DATUM NAVD 88 TOP  
SPIKE 5362.48

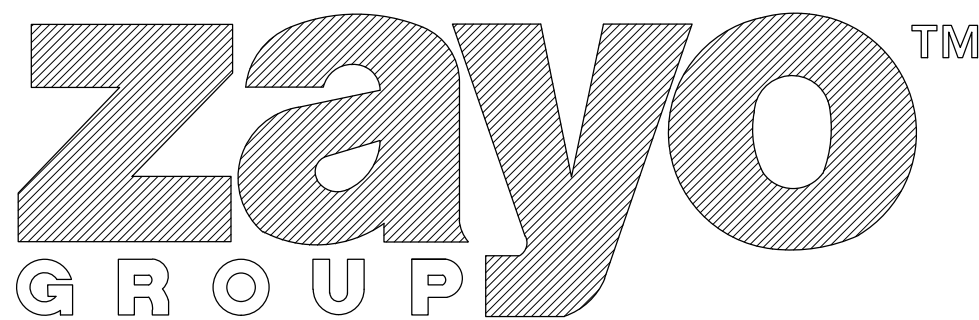
SCALE: 1" = 40'-0"

The logo for Five Nine Design Group features the words "FIVE" and "NINE" in a large, bold, sans-serif font. A stylized graphic element, resembling a bracket or a stylized "9", is positioned to the right of the text. Below the main text, the words "DESIGN GROUP" are written in a smaller, all-caps, sans-serif font.

**FIVE NINE**  
DESIGN GROUP

15925 HARGRAY DRIVE  
NOBLESVILLE, INDIANA 46062  
P. 833-348-3394  
[www.fivenineg.com](http://www.fivenineg.com)

THIS IS AN ORIGINAL DESIGN CREATED BY FINE NINE DESIGN GROUP. THE CONCEPTS, IDEAS, PLANS AND DETAILS ARE THE SOLE PROPERTY OF FINE NINE DESIGN GROUP. NONE OF THE CONCEPTS, IDEAS, PLANS OR DETAILS SHALL BE COPIED, USED BY OR DISCLOSED TO ANY PERSON WITHOUT WRITTEN PERMISSION OF FINE NINE DESIGN GROUP. ANY REUSE OF DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE. ALL DIMENSIONS AND CONDITIONS ON THE JOB AND FINE NINE DESIGN GROUP MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.



"UNASSIGNED" CA-395  
RAVENDALE, CA 96123

NUMBER	DATE	DESCRIPTION
1-2-14		ISSUED FOR PERMITS
4-2-14		ISSUED FOR PRELIMINARY REVIEW
3-9-14		ISSUED FOR PRELIMINARY REVIEW

CERTIFICATION:  RED ARROW BUILDING & CONSTRUCTION



**OVERALL SITE PLAN**

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


PROJECT NUMBER 180222  
CAD FILE: 22C100.DWG  
DRAWN BY: REA  
CHECKED BY: BSH

SHEET NUMBER:

# C100



LEGEND

— DHE —	EXISTING OVERHEAD ELECTRIC LINE	— ○ — ○ — ○ —	EXISTING WIRE FENCE		NEW GRAVEL
— FIBER —	NEW UNDERGROUND FIBER CONDUIT		EXISTING UTILITY POLE		EXISTING ASPHALT
— UGE —	NEW UNDERGROUND ELECTRIC		SITE BENCHMARK		
— + + + + + —	NEW CHAINLINK FENCE				

SITE LAYOUT GENERAL NOTES:

1. DIMENSIONS ARE TO THE EDGE OF CONCRETE PAVING, OR FACE OF BLDG. UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT OWNERS RISK. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.

2. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

3. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.

4. ALL DAMAGE TO EXISTING GRASS AREAS AS A RESULT OF NEW CONSTRUCTION SHALL BE RESEED AT THE CONTRACTORS EXPENSE.

5. SITE DEVELOPMENT PLAN IS BASED ON A PRE-CONSTRUCTION BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY NST ENGINEERING, INC. 530-257-5173. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY THE SURVEY PRIOR TO BIDDING AND BEGINNING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL SURVEY INFORMATION FROM THE SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCREPANCIES WITH THE CERTIFIED SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY THE CERTIFIED SURVEY SHOULD ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. FINISH FLOOR ELEVATION OF NEW BUILDING EQUALS 5568.0' 5568.0' = 100'-0" IN CONSTRUCTION DOCUMENTS.

7. COORDINATE SUBGRADE PREPARATION WITH GEOTECHNICAL INFORMATION. GEOTECHNICAL REPORT BY TERRACON CONSULTING ENGINEERS, INC. 530-257-5173. CONTRACTOR SHALL OBTAIN ALL INFORMATION FROM THE SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCREPANCIES WITH THE CERTIFIED SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY THE CERTIFIED SURVEY SHOULD ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

8. ALL ITEMS BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

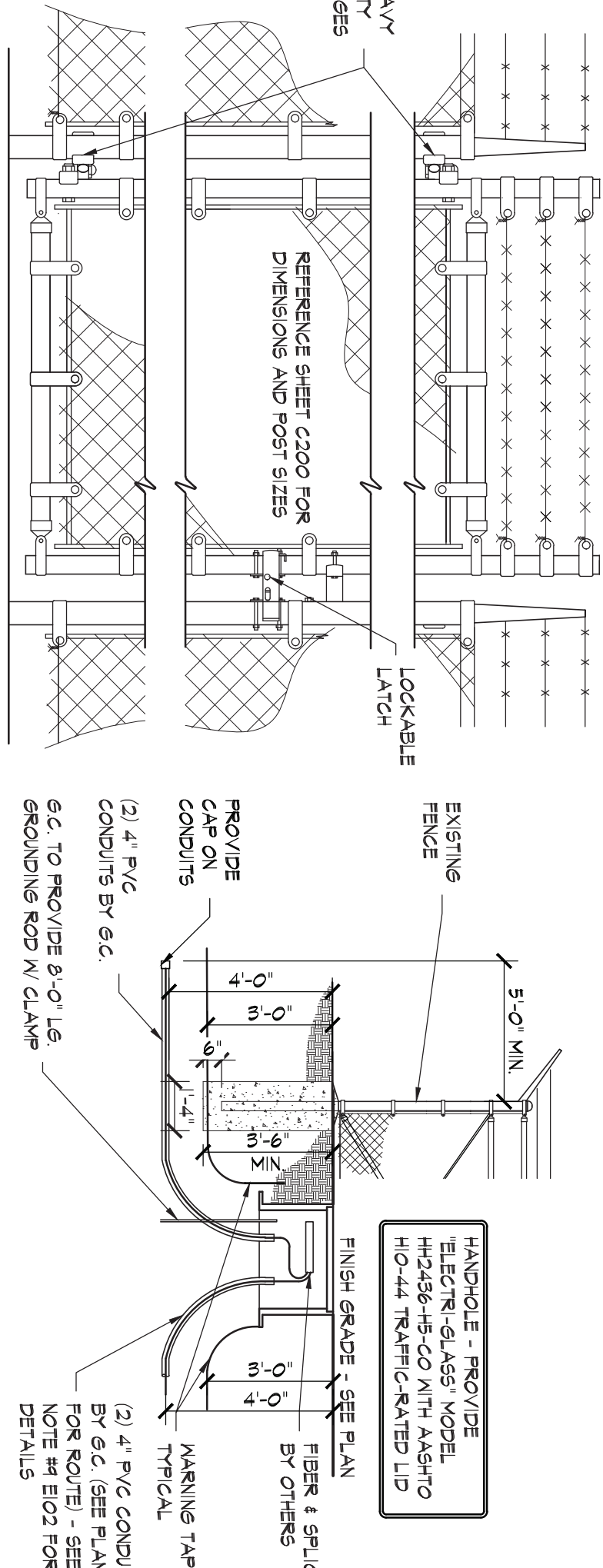
9. GENERAL CONTRACTOR TO LOCATE ALL EXISTING INFRASTRUCTURE UTILITIES (PRIVATE AND PUBLIC) PRIOR TO ANY DIGGING. CONTRACTOR IS RESPONSIBLE FOR ALL DISRUPTIONS TO EXISTING SERVICES, UTILITIES ETC. AND TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE SAME.
10. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR TO COORDINATE THIS INSTALLATION OF ALL WORK WITH THE RIGHT OF WAY WITH COUNTY, STATE AND LOCAL AGENCY AND REVIEW AGENCIES. ALL DETAILS, MATERIALS AND PRODUCTS UTILIZED SPECIFICALLY NOTED IN THE DRAWINGS SHALL BE REVIEWED WITH THE APPROVAL AGENCIES HAVING JURISDICTION BY THE CONTRACTOR(S) RESPONSIBLE FOR THE WORK PRIOR TO THE INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCIES ARISE FROM THE FINAL CONTRACTOR REVIEW WITH THE APPROVAL AGENCY HAVING JURISDICTION OCCURS, THE CONTRACTOR SHALL INFORM THE ARCHITECT AND ITS REPRESENTATIVE AS DEFINED ON THE TITLE BORDER.

11. IT IS THE RESPONSIBILITY OF THE PRECAST FOUNDATION DESIGN ENGINEER TO VERIFY WITH GEOTECHNICAL ENGINEER THE ADEQUACY OF EXISTING SOILS TO ACCEPT BUILDING LOADS.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE PROJECT MANAGER AND THE OWNER OF ANY OBSTRUCTIONS, ROCK FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND OLDCASTER STRUCTURAL ENGINEER UPON NOTIFICATIONS FROM THE CONTRACTOR.

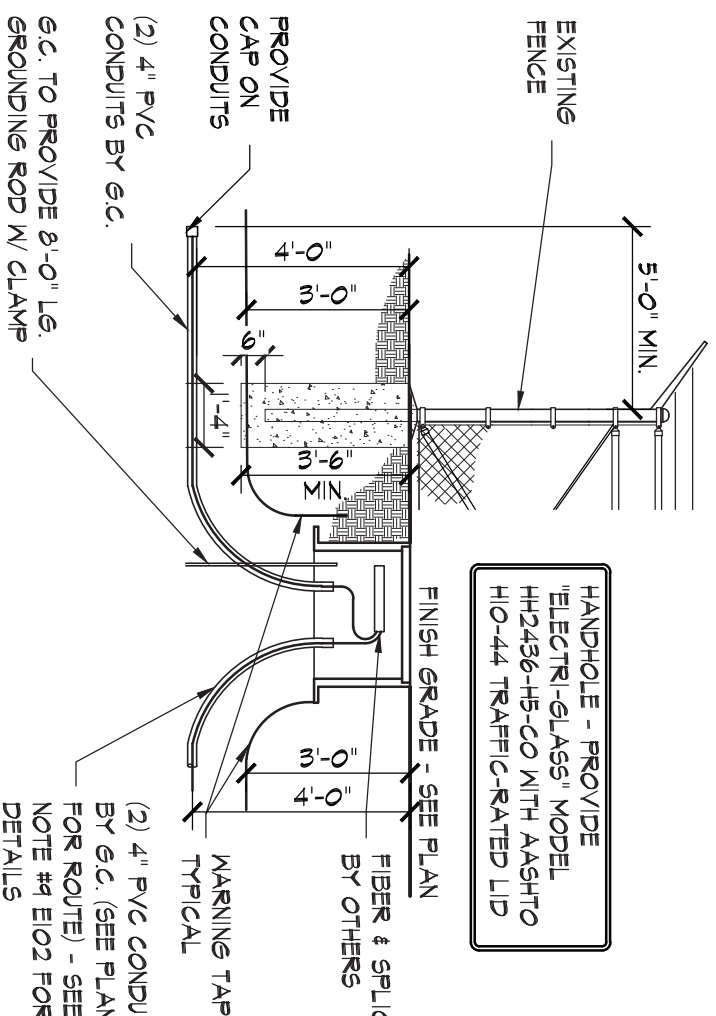
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY A NON-SITE-GEOTECHNICAL ENGINEER TO REVIEW THE SOILS OF THE PROJECT FOR FOOTINGS/INFRASTRUCTURE TO RENDER OPINIONS, APPROVAL OR DECISIONS REGARDING PLACEMENT/ADEQUACY DESIGN OF PRECAST FOUNDATIONS INFRASTRUCTURE AND BUILDING. CONTACT PROJECT MANAGER AND ARCHITECT (JOINTLY OF ANY RECOMMENDATIONS AND/OR MODIFICATIONS REQUIRED OR OTHERWISE RENDERED OR RECOMMENDED BY THE LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER.

14. CONTRACTOR IS SOLELY RESPONSIBLE TO SUBMIT AND REVIEW ALL VERT PIRE RECORDS AND RECORDS WITH ARCHITECT OR AGENCY HAVING JURISDICTION (CITY/COUNTY SURVEYOR) CONTRACTOR SHALL ENSURE ALL SUBMISSIONS AND APPROVALS HAVE OCCURRED AND APPROVALS REVIEWED PRIOR TO COMMENCEMENT OF WORK. ANY ABSENCE OF THE REVIEW AND APPROVAL PROCESS THAT ARE STIPULATED SHALL RESULT IN CORRESPONDENCE TO THE PROJECT MANAGER 59 AND ARCHITECT/HOCH ASSOCIATES.



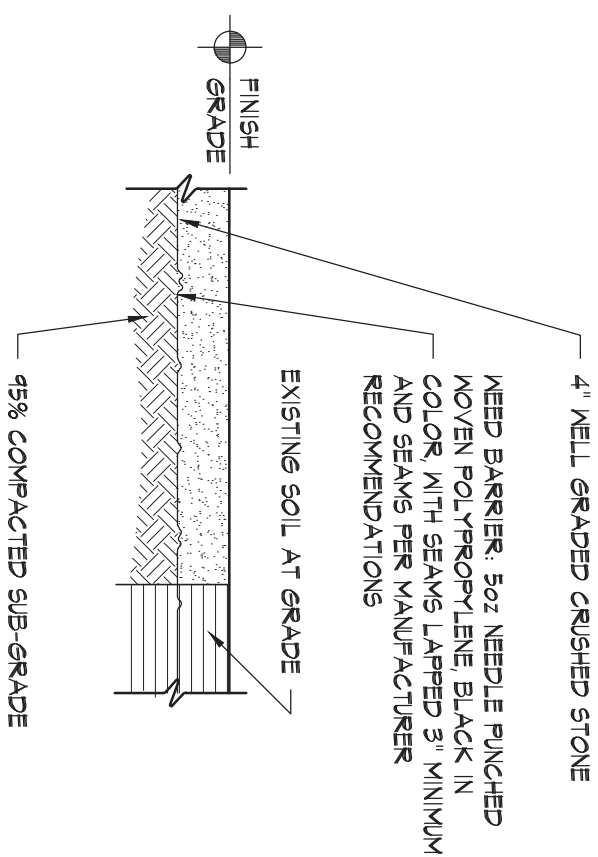
3 FIBER HANDHOLE

C101 SCALE: 1/4" = 1'-0"



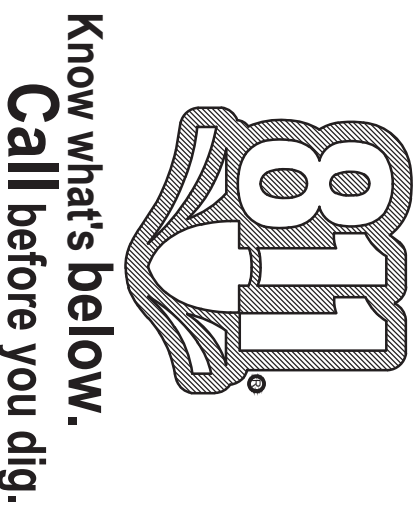
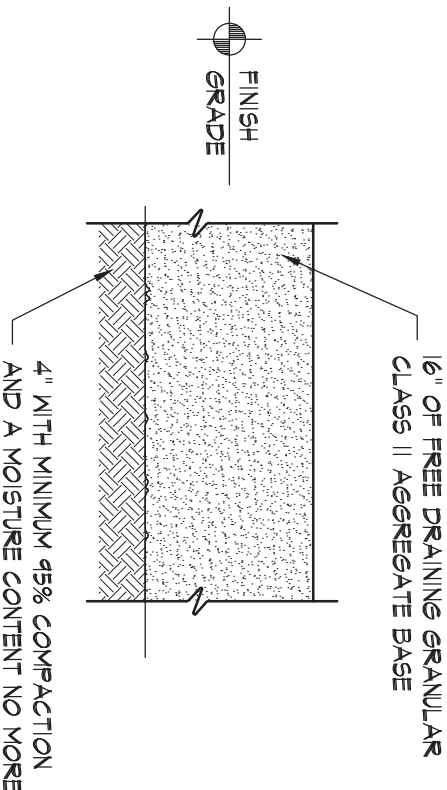
2 GRAVEL YARD DETAIL

C101 SCALE: 3/4" = 1'-0"

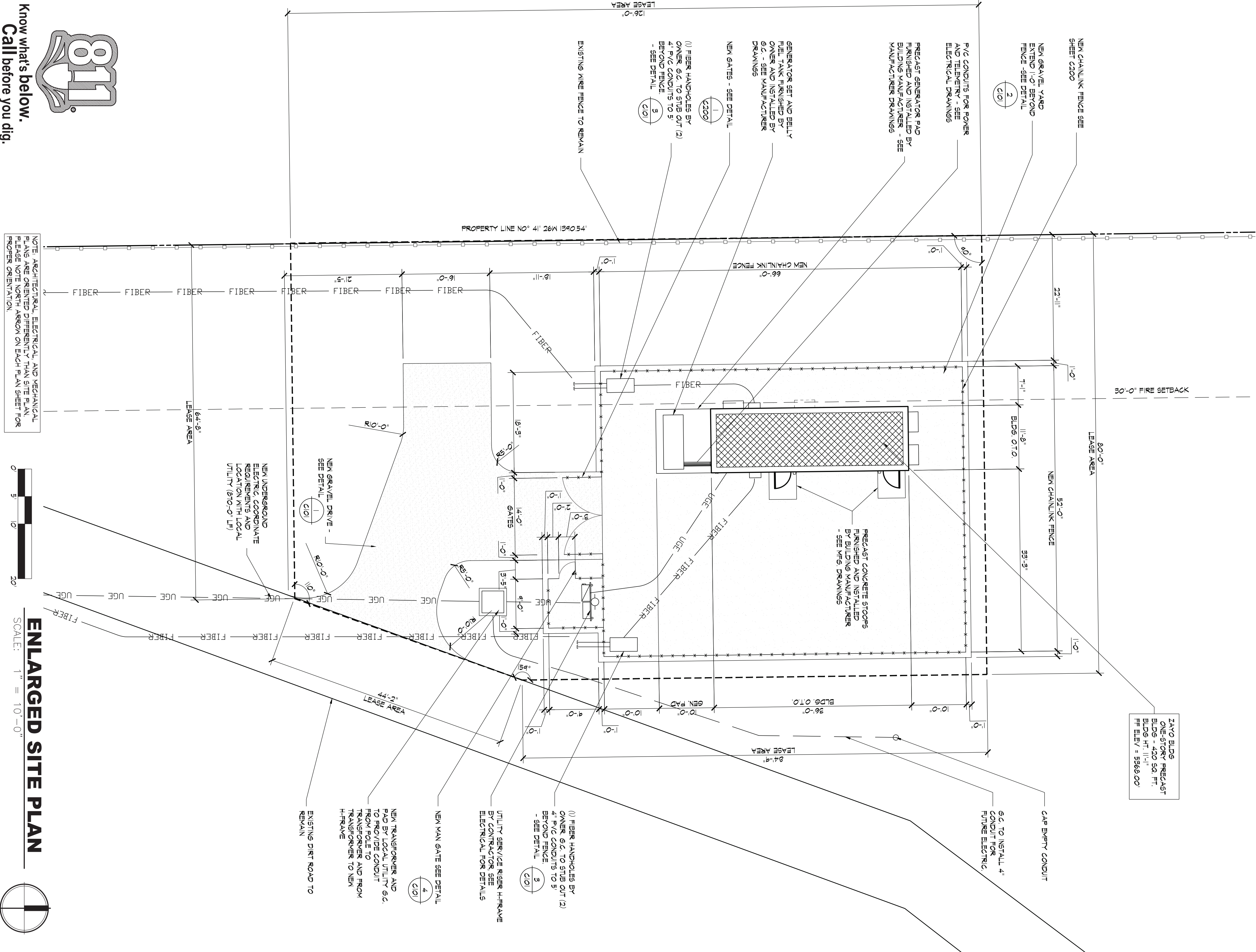


1 GRAVEL DRIVE DETAIL

C100 SCALE: 3/4" = 1'-0"



Know what's below.  
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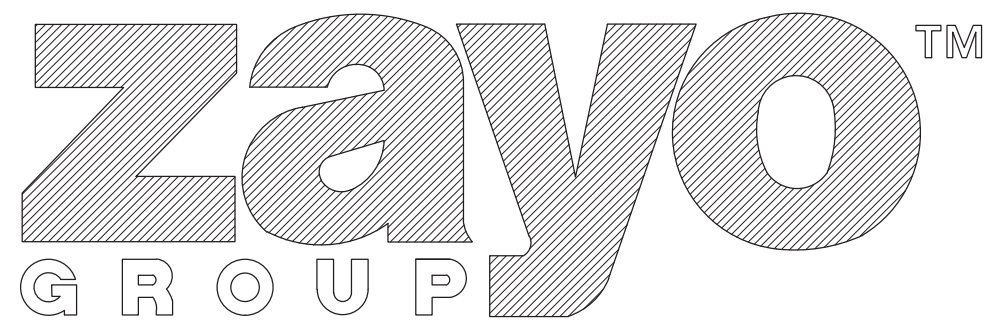


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DESIGN GROUP

19925 HARGRAY DRIVE  
NOBLESVILLE, INDIANA 46062  
P: 833-348-3934  
www.fivedg.com



"UNASSIGNED" CA-395  
RAVENDALE, CA 96123

1-2-16 ISSUED FOR PERMITS  
3-14-18 ISSUED FOR PERMANENT REVIEW

NUMBER DATE REVISION  
1-2-16  
3-14-18  
5-31-2021

JAMES R. HOCH  
C-31150  
5-31-2021  
SEAL  
REGISTERED PROFESSIONAL ARCHITECT  
STATE OF CALIFORNIA

PROJECT NUMBER 18022  
CADD FILE: Z2C101.DWG  
DRAWN BY: AEA  
CHECKED BY: BSA

SHEET NUMBER: C101

ENLARGED SITE PLAN  
AND DETAILS

18022  
Z2C101.DWG  
AEA  
BSA



LEGEND

- DHE —

EXISTING OVERHEAD ELECTRIC LINE

— FIBER —

NEW UNDERGROUND FIBER CONDUIT

— UGE —

NEW UNDERGROUND ELECTRIC

— — — — —

NEW CHAINLINK FENCE

EXISTING WIRE FENCE

EXISTING UTILITY POLE

SITE BENCHMARK

NEW GRAVEL

EXISTING ASPHALT

SITE LAYOUT GENERAL NOTES:

1. DIMENSIONS ARE TO THE EDGE OF CONCRETE, PAVING, OR FACE OF BLDG. UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND RECORD TO LOCAL STANDARDS AND THAT CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

2. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

3. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK.

4. ALL DAMAGE TO EXISTING GRASS AREAS AS A RESULT OF NEW CONSTRUCTION SHALL BE RESEED AT THE CONTRACTOR'S EXPENSE.

5. SITE DEVELOPMENT PLAN IS BASED ON A PRE-CONSTRUCTION BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY NIST ENGINEERING, INC. 530-257-5173. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND VERIFY THE SURVEY PRIOR TO BUILDING AND BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. PRESENTED DEDICATED OR DEFINED ON THE ARCHITECTURAL/SITE DOCUMENTS WITH THE CERTIFIED SURVEY OF THE PROPERTY. IN THE EVENT OF A COORDINATE OR TOPOGRAPHIC DISCREPANCY THE CERTIFIED SURVEY SHOULD ALWAYS TAKE PRECEDENCE. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. FINISH FLOOR ELEVATION OF NEW BUILDING EQUALS 5368.0' - 5368.0' = 100'-0" IN CONSTRUCTION DOCUMENTS.

7. COORDINATE SURFACE PREPARATION WITH GEOTECHNICAL INFORMATION AND REPORT BY TERRACON. FOR MORE INFORMATION, CONTACT BRICE PLOUSE AT (603) 742-7174. CONTRACTOR PRIOR TO COMMENCEMENT OF WORK SHALL OBTAIN IN WRITING THAT OLDCASTLE PRECAST ENGINEER OF RECORD HAS RECEIVED AND REVIEWED GEOTECHNICAL SURVEY AND RECOMMENDATIONS VERIFYING ADEQUACY OF PRECAST FOUNDATIONS UTILIZED FOR THIS PROJECT.

8. ALL ITEMS BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.

9. GENERAL CONTRACTOR TO LOCATE ALL EXISTING INFRASTRUCTURE UTILITIES (PRIVATE AND PUBLIC) PRIOR TO ANY DIGGING. CONTRACTOR IS RESPONSIBLE FOR ALL DISRUPTIONS TO EXISTING SERVICES, UTILITIES ETC. AND TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE SAME.

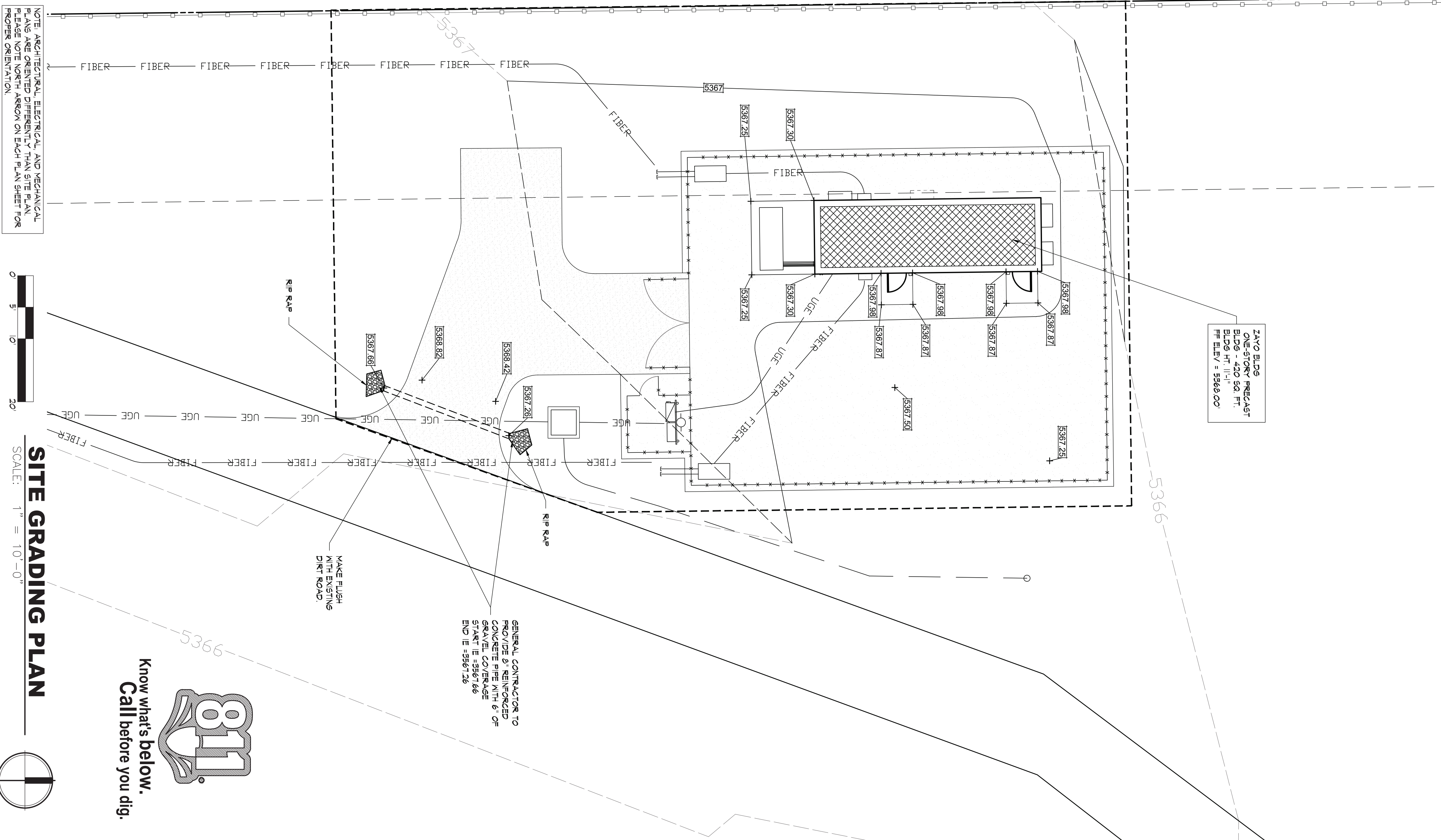
10. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR & SUBCONTRACTOR TO COORDINATE THIS INSTALLATION OF ALL WORK WITHIN THE RIGHT OF WAY WITH COUNTY, STATE AND LOCAL AGENCIES AND AGENCIES. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITIONS. ALL GRADES/CONTOURS, ETC. DEDICATED BY THE CONSTRUCTION DOCUMENTS SHALL BE REVIEWED WITH THE APPROVAL AGENCIES HAVING JURISDICTION BY THE CONTRACTOR(S) RESPONSIBLE FOR THE WORK PRIOR TO THE INSTALLATION OF ANY PORTION OF THE WORK. IF ANY DISCREPANCIES ARISE FROM THE FINAL CONTRACTOR REVIEW WITH THE APPROVAL AGENCY HAVING JURISDICTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ITS REPRESENTATIVE AS DEFINED ON THE TITLE BORDER.

11. IT IS THE RESPONSIBILITY OF THE PRE-CAST FOUNDATION DESIGN ENGINEER TO VERIFY WITH GEOTECHNICAL ENGINEER THE ADEQUACY OF EXISTING SOILS TO ACCEPT BUILDING LOADS.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY INFORM THE PROJECT MANAGER AND THE OWNER OF ANY OBSTRUCTIONS, ROCK FORMATIONS, OUTCROPPINGS ETC. THAT MAY IMPACT STRUCTURAL STABILITY OF THE BUILDING, FOUNDATIONS AND SITE INFRASTRUCTURE. THE PROJECT MANAGER/OWNER IS RESPONSIBLE TO CONTACT THE ARCHITECT AND THE ARCHITECT SHALL NOTIFY THE GEOTECHNICAL ENGINEER UPON NOTIFICATION FROM THE CONTRACTOR.

13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EMPLOY AN "ON SITE" GEOTECHNICAL ENGINEER LICENSED (PE) IN THE STATE OF EXCAVATION FOR FOOTINGS/INFRASTRUCTURE TO RENDER OPINIONS, APPROVAL OR DECISIONS REGARDING PLACEMENT/ADEQUACY DESIGN OF PRECAST FOUNDATIONS INFRASTRUCTURE AND BUILDING. CONTRACT PROJECT MANAGER AND ARCHITECT (L) SHALL REVIEW AND APPROVE ALL PRECAST FOUNDATIONS AND ALL OTHER CONSTRUCTION DETAILS. ANY CHANGES SHALL BE RENDERED OR RECOMMENDED BY THE LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER.

14. CONTRACTOR IS SOLELY RESPONSIBLE TO SUBMIT AND REVIEW ALL VERT PIPE DESIGN, SIZE AND INSTALLATION STANDARDS WITH MITCHELL OR AGENCY HAVING JURISDICTION (CITY/COUNTY SURVEYOR). CONTRACTOR SHALL ENSURE ALL SUBMISSIONS AND APPROVALS HAVE OCCURRED AND APPROVALS REVIEWED PRIOR TO COMMENCEMENT OF WORK. ANY ABSENCE OF THE REVIEW AND APPROVAL PROCESS THAT ARE STIPULATED SHALL RESULT IN CONSTRUCTION BEING AT THE RISK OF THE PROJECT MANAGER 99 AND ARCHITECT FROCH ASSOCIATES.



FIVE

NINE

DESIGN GROUP

15925 HARGRAY DRIVE  
NOBLESVILLE, INDIANA 46062  
P: 833-348-3934  
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zayo

GROUP

"UNASSIGNED" CA-395  
RAVENDALE, CA 96123

NUMBER: 1-2-19  
DATE: 05/11/21  
DESIGN: RESUBMIT  
CERTIFICATION: 1-2-19 ISSUED FOR PERMITS

LICENSED ARCHITECT  
JAMES R. HOCH  
C-31150  
5-31-2021  
STATE OF CALIFORNIA

SHEET TITLE: SITE GRADING PLAN

PROJECT NUMBER: 18072

CAD FILE: 22C102.DWG

DRAWN BY: RJA

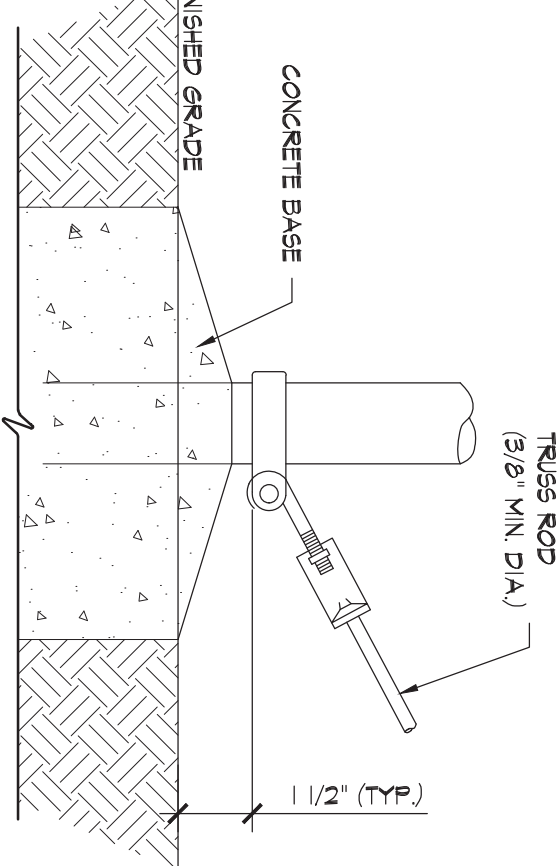
CHECKED BY: RJA

SHEET NUMBER: C102

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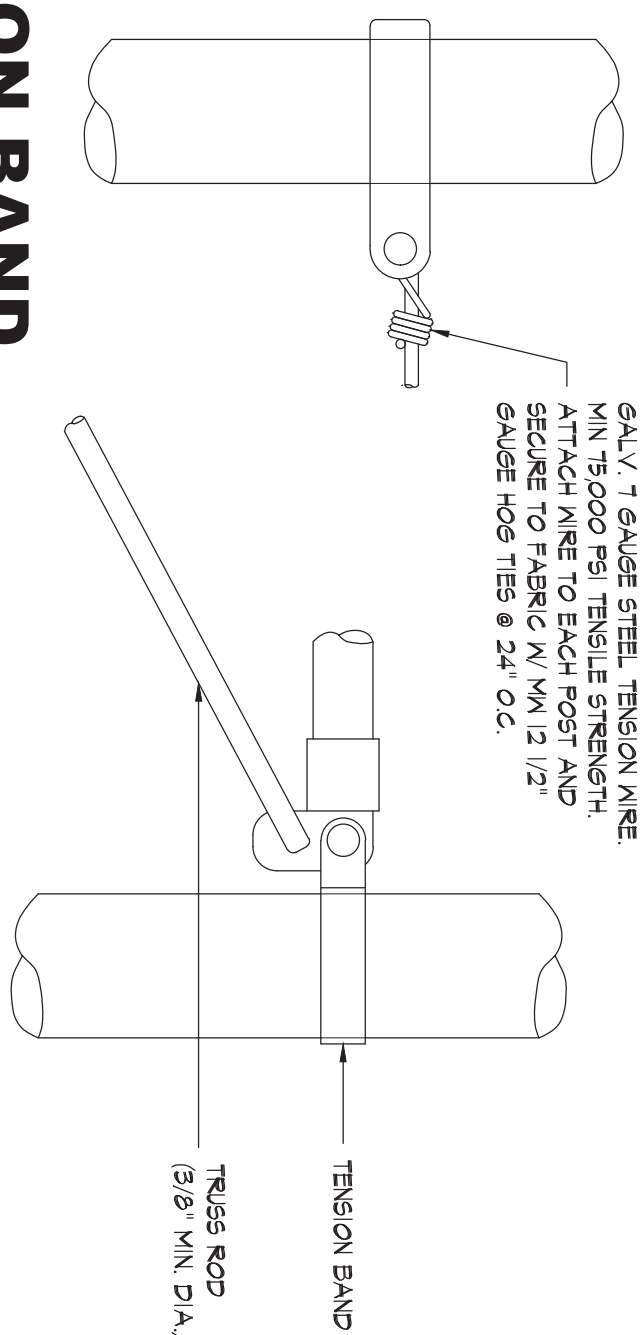
811





## 5 TRUSS ROD AND BAND

SCALE: 3" = 1'-0"



## **TENSION BAND AND WIRE DETAIL**

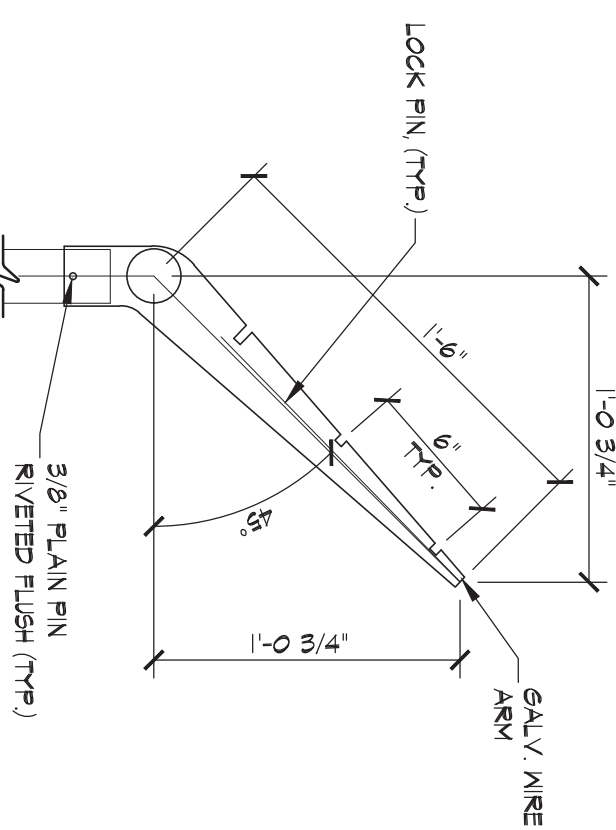
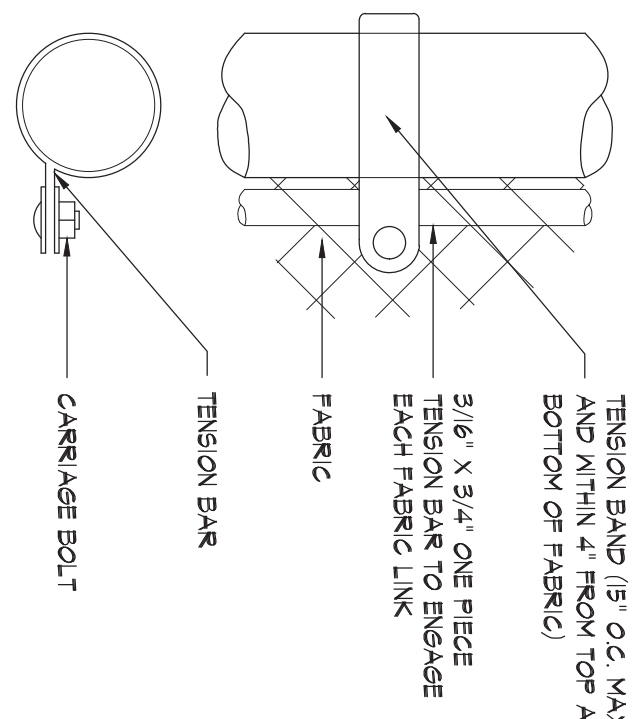
SCALE: 3" = 1'-0"

## **ROUND POST**

SCALE: 3" = 1'-0"

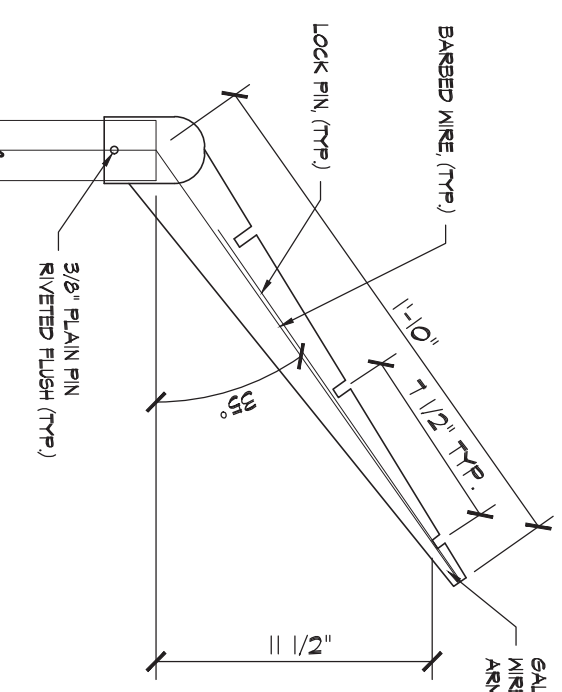
**END OR GATE POST DETAIL**

SCALE: 3" = 1'-0"



## LINE POST

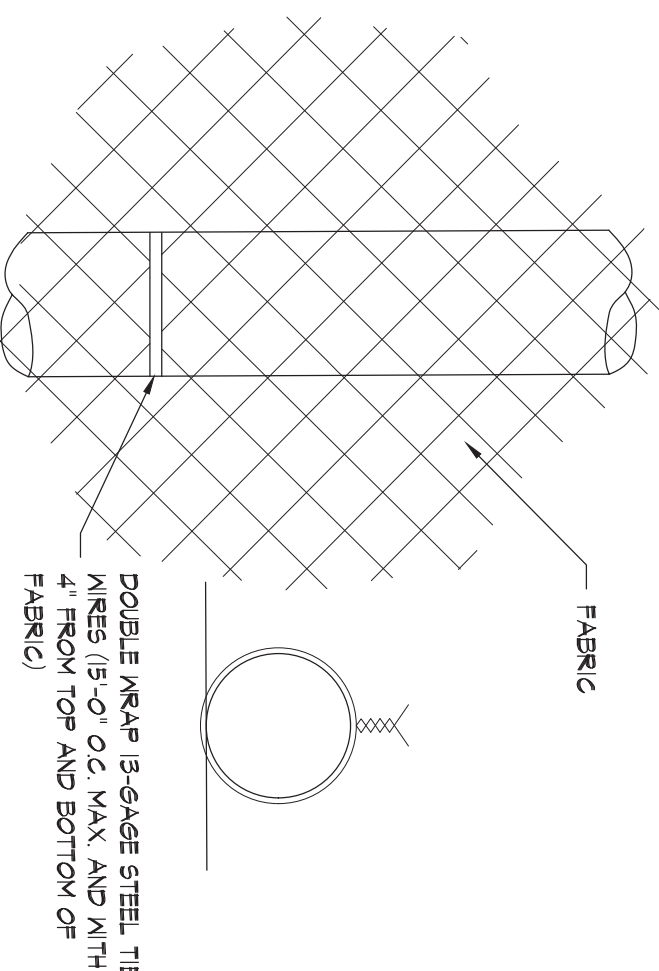
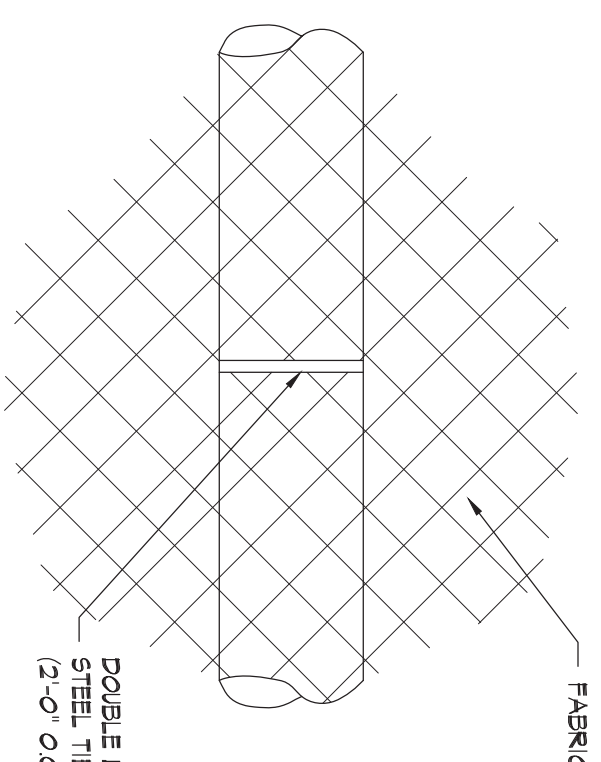
SCALE: 1 1/2" = 1'-0"



## CORNER POST

SCALE: 1 1/2" = 1'-0"

USE AND SECTION	STEEL POST SCHEDULE		
	MINIMUM DIMENSIONS (NOMINAL)		
CORNER END & FULL POSTS	FABRIC WIDTH 12" OR LESS	FABRIC WIDTH 64" TO 46"	FABRIC WIDTH 48" AND OVER
TUBULAR - ROUND	2.375" O.D.	2.875" O.D.	4.00" O.D.
TUBULAR - SQUARE	2.00" SQ.	2.50" SQ.	3.00" SQ.
C-SECTION (ROLL-FORMED)	3.50" x 3.50"	3.50" x 3.50"	*****
LINE POSTS			
TUBULAR - ROUND	1.40" O.D.	2.375" O.D.	2.875" O.D.
H - SECTION	2.25" x 1" O	2.25" x 1" O	2.25" x 1" O
C-SECTION (ROLL-FORMED)	1.875" x 1.625"	2.25" x 1" O	*****
TOP BOTTOM & BRACE RAILS			
TUBULAR - ROUND		1.66" O.D.	
TUBULAR - SQUARE		1.50" SQ.	
H-SECTION		1.625" x 1.50"	
C-SECTION (ROLL-FORMED)		1.625" x 1.25"	



## TOP/BRACE RAIL ATTACHMENT

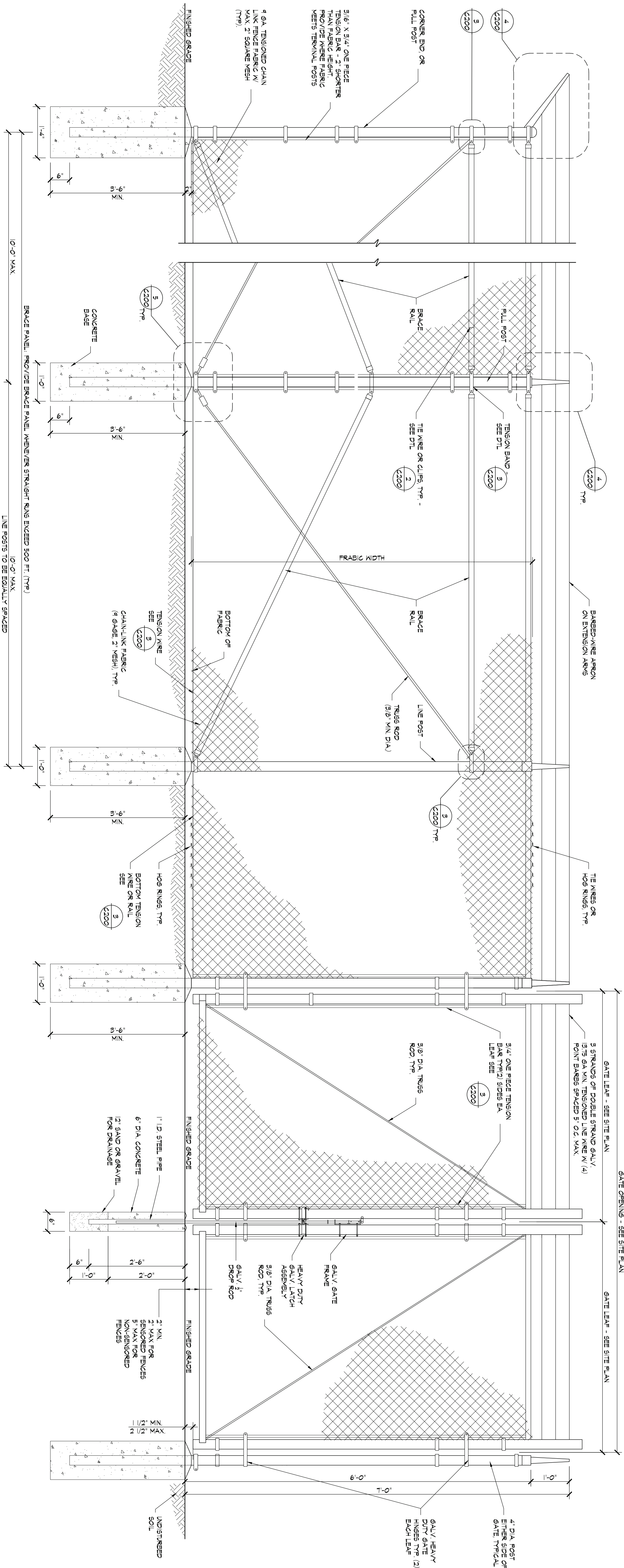
SCALE: 3" = 1'-0"

## 2 EXTENSION ARM DETAILS

C200 SCALE: 3" = 1'-0"

## ROUND POST

SCALE: 3" = 1'-0"



## 1 CHAIN-LINK FENCE DETAIL

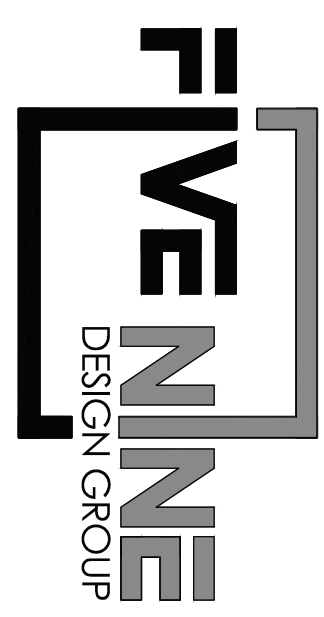
C200 SCALE: 3/4" = 1'-0'

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**FENCE DETAILS**

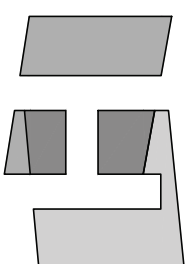
PROJECT NUMBER  
CAD FILE:  
DRAWN BY:  
CHECKED BY:  
SHEET NUMBER:

# C200



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architects · interior

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